

Sample Building Report

Provided By



Inspect Detect Consultants

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Inspection Address

Sample



Report Information

Client Information

Client Name

Report Ordered By

Email

Inspection Information

Report/Agreement # 01092106488305

Agreement signed on: 31 Aug 2021

Inspection Date: 01 Sep 2021

Inspection Time: 12:15 pm

SAMPLE ONLY

Table of Contents

1. CLIENT AND INSPECTION INFORMATION
2. Service - Limitations and Conditions
3. Summary of Findings
4. Summary
5. General
6. Accessibility
7. Exterior Condition Report
8. Site Condition Report
9. Interior Condition Report
10. Roof Cavity Condition Report
11. Further Inspections/Advice

CLIENT AND INSPECTION INFORMATION

People Present:

Inspector/s

Inspection Information

Report Prepared Date:

1 September 2021

If you have any queries with this report or require further information, please do not hesitate to contact consultant who carried out the inspection.

If this report is more than 30 days from the inspection date, we recommend a new inspection and report.

Complies with Australian Standard AS 4349.1-2007 Inspection of Buildings Part 1: Pre Purchase Inspections – Residential Buildings – Appendix “C”

This Pre Purchase Inspection Report (hereinafter called “the Report”) is issued subject to the Scope, Limitations, Exclusions and Definitions of Inspection and Report set out in Clause A.1 of this document.

I would like to thank you for choosing **INSPECT DETECT CONSULTANTS** to conduct the Inspection on your new home.

Please read carefully the following report and if you have any further questions or need assistance please don't hesitate to call.

Again, thank you for becoming a valued client.

Kind Regards,

K R FALLS

Kevin Falls

Senior Consultant

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Pre Purchase Inspection – Residential Building Report

Complies with Australian Standard AS 4349.1-2007 Inspection of Buildings Part 1: Pre Purchase Inspections – Residential Buildings – Appendix “C”

Note: This report should not be relied upon if the contract for the sale becomes binding more than 30 days after the date of initial inspection. A re-inspection after this time is essential

This Pre Purchase Inspection Report (hereinafter called “the Report”) is issued subject to the Scope, Limitations, Exclusions and Definitions of Inspection and Report set out in Clause A.1 of this document.

The Scope of the Inspection: This report Complies with Australian Standards AS 4349.1-2007. Inspection of Buildings Part 1: Pre- Purchase Inspections-Residential Buildings- Appendix "C" and with AS 4349.3-2010 (Visual Timber Pest Inspection Report)

Only the purchaser name at the front page of the report "Client" should rely on this report. If this report has been issued to you by a third party. You are not to rely on its findings or contents and seek to obtain your own independent pre purchase inspection report as this report or its contents is non transferable. The inspection WILL NOT report on items listed in Appendix "D" of AS43491.2007.

If the property is part of a Strata or Company Title , then Appendix "B" of the Australian Standards applies.

Special Requirements: Unless stated otherwise in the report It is acknowledged that there are no special requirements placed on this inspection that are outside the scope of the abovementioned Australian Standard.

Inspection Agreement: This report is subject to the terms, scope, description and limitations of the inspection agreement that was entered into prior to the inspection being performed. (Note: This agreement may have been entered into by your Solicitor/Conveyancer or other agent). If you are unsure in any way as to how that inspection agreement impacts this inspection and report, please seek clarification prior to committing to the property.

Changes to the Inspection Agreement: Unless stated otherwise in the report It is acknowledged that if any inspection agreement is in place in respect to this inspection, no changes have been made between the scope of the pre-Inspection Agreement and the scope of this inspection report.

Please read the entire report. Refer to the terms & conditions as they form part of the report

Service - Limitations and Conditions

SERVICE - PLEASE READ THE TERMS AND CONDITIONS IN CLAUSE A.1 OF THIS DOCUMENT

As requested and agreed with the Client, the service is a

Pre Purchase - "Pre-Purchase Property Inspection Report."

SPECIAL CONDITIONS OR INSTRUCTIONS?

No.

NOTE:

Swimming Pools: Swimming Pools/Spas are not part of the Pre Purchase Report under AS4349.1-2007 and are not covered by this Report. We strongly recommend a pool expert should be consulted to examine the pool and the pool equipment and plumbing as well as the requirements to meet the standard for pool fencing. Failure to conduct this inspection and put into place the necessary recommendations could result in finds for non compliance under the legislation.

LIMITATIONS AND CONDITIONS

See Clause A.1 "Terms & Conditions. For identification of any 'Access Issues' see Item 2 "Accessibility".

Were there any limitations to the Inspection/Report apart from Access Issues noted in Item 2 "Accessibility"?

No.

If "Yes", how do these limitations affect the Inspection/Report?

Not applicable

Provide any details of apparent concealment of defects:

No.

Was any information provided to the Inspector that has a bearing on the Inspection and/or Report?

No.

If "Yes", by who and when was that information provided?

Not Applicable

DISCLAIMER OF LIABILITY TO THIRD PARTIES: -

Compensation will only be payable for losses arising in contract or tort sustained by the Client named on the front of this report. Any third party acting or relying on this Report, in whole or in part, does so entirely at their own risk. However, if ordered by a Real Estate Agent or a Vendor for the purpose of auctioning a property then the Inspection Report may be ordered up to seven (7) days prior to the auction, copies may be given out prior to the auction and the Report will have a life of 14 days during which time it may be transferred to the purchaser. Providing the purchaser agrees to the terms of this agreement then they may rely on the report subject to the terms and conditions of this agreement and the Report itself. Note: In the ACT under the Civil Law (Sale of Residential Property) Act 2003 and Regulations the report resulting from this inspection may be passed to the purchaser as part of the sale process providing it is carried out not more than three months prior to listing and is not more than six months old. 3. Pools are an excluded item in AS4349.1-2007 and QLD pool fence inspectors are to be licensed separately. As pool fences and pools are not included by a pre-purchase inspection and report there is no cover for the reporting of them. Please remove the section headed "7. Pool Report"

Summary of Findings

The Summary is not the Report. The following report MUST be read in full in conjunction with this summary.

If there is a discrepancy between the information provided in this Summary and that contained within the body of the Report, the information in the body of the Report shall override this Summary.

Brief summary of the dwelling

The residence is a detached house and was approximately built in the 1980's. The property appears to have been constructed to an acceptable standard for the period using workmanship and materials of an acceptable quality and has since been reasonably maintained.

Evidence of structural damage

No - Read this Report in it's Entirety

Evidence of conditions conducive to structural damage

No - Read this Report in it's Entirety

Evidence of major defects in the non-structural elements of construction

Yes - Refer to Report

Evidence of minor defect

Yes - Refer to Report

Evidence of serious safety hazards

Yes - Refer to Report

Condition of house in relation to average condition of similar buildings approximately the same age

Following the inspection of surface work in the readily accessible areas of the property, the overall condition of the building relative to the average condition of similar buildings of approximately the same age that has been reasonably well maintained was considered: Average Condition. See also Item 4 "Conclusion".

NOTE if Summary of Findings says Yes to conditions Conducive to Structural Damage Further investigation is required by Structural engineer or Qualified Builder.

The Definitions (Good), (Good to fair), (Fair), (Fair to Poor) and (Poor) relate to the inspectors opinion of the Overall level of Building condition:**GOOD**

This relates to as new condition or material that is like the condition when it is built and installed e.g. most definitions unless the dwelling is less than 2 years old will not be nominated as Good.

GOOD TO FAIR

The frequency and/or magnitude of defects are consistent with the inspector's expectations when compared to similar buildings of approximately the same age which have been reasonably well maintained. General maintenance will be required to help maintain the condition.

FAIR

The frequency and/or magnitude of defects are lower than the inspector's expectations when compared to similar buildings of approximately the same age that have been reasonably well maintained. If marked fair this will indicate that the item nominated will require repairs and or maintenance in the near future and you should consult appropriate Tradesman or builder for quote before making purchase of property.

FAIR TO POOR

The frequency and/or magnitude of defects are lower than the inspector's expectations when compared to similar buildings of approximately the same age that have been reasonably well maintained. If marked Fair to Poor work requires immediate attention and repairs, you should consult appropriate Tradesman or builder for quote before making purchase of property.

POOR

The frequency and/or magnitude of defects are lower than the inspector's expectations when compared to similar buildings of approximately the same age that have been reasonably well maintained. If marked Fair to Poor work requires immediate attention and repairs, you should consult appropriate Tradesman or builder for quote before making purchase of property.

ABOVE AVERAGE

This relates a dwelling that is to be considered to be in better condition and better maintained than another dwelling of approximate age, style and area the dwelling is situated in. This does not mean in any way that there are no defects, minor or major refer to report for details

AVERAGE

This relates a dwelling that is to be considered in similar condition and similar level of maintenance to than another dwelling of approximate age, style and area the dwelling is situated in. This does not mean in any way that there are no defects, minor or major refer to report for details

BELOW AVERAGE

This relates a dwelling that is to be considered in worst condition and at a poorer level of maintenance to than another dwelling of approximate age, style and area the dwelling is situated in. This does not mean in any way that there are no defects, minor or major refer to report for details

EXCLUSIONS

The Client acknowledges that this Report does not cover or deal with:

- (i) any minor faults or defects i.e. a matter, in view of the age, type and condition of the building being inspected, does not require substantial repairs or urgent attention and rectification.
- (ii) solving or providing costs for any rectification or repair work.

- (iii) the structural design or adequacy of any element of construction.
- (iv) detection of wood destroying insects such as termites and wood borers.
- (v) the operation of fireplaces and chimneys.
- (vi) any services including building, engineering (electronic), fire and smoke detection or mechanical.
- (vii) any swimming pools and associated pool equipment or spa baths and spa equipment or the like.
- (viii) any appliances such as dishwashers, insinkerators, ovens, stoves and ducted vacuum systems, Solar systems and air conditioners.
- (ix) a review of occupational, health or safety issues such as asbestos content, or the provision of safety glass or swimming pool fencing.
- (x) a review of environmental or health or biological risks such as toxic mould.
- (xi) whether the building complies with the provisions of any building Act, code, regulation(s) or by-laws; and
- (xii) whether the ground on which the building rests has been filled, is liable to subside, swell or shrink, is subject to landslip or tidal inundation, or if it is flood prone.
- (xiii) Window fly screens or security screens, door fly screens or security screens and window furnishings e.g. blinds and curtains
- (xiv) **Asbestos Disclaimer:** No inspection for Asbestos was carried out at the property and no report on the presence or absence of Asbestos is provided. You should seek further advice, Asbestos Audit and inspection is recommended prior your decision to purchase the property.
- (xv) **Flood report Disclaimer:** No Inspection for Flooding was carried out at the property and no report on the presence or absence of flooding on property or to dwelling is provided. You should seek further advice and have relevant flood searches done before your decision to purchase the property.

Any of the above matters may be the subject of a special-purpose inspection report, which is adequately specified and undertaken by an appropriately qualified inspector.

NOTE: A general condition of dwelling will be commented on to allow you to make an informed discussion when making your purchase but most minor defects will not be commented on as this is not a part of a Pre Purchase inspection, a full defects inspection is available upon request as a special purpose report at a further cost.

Frequency of Further Inspections:

The next Building inspection that may help to detect any future defects is recommended in and every: 12 Months

A more through invasive inspection is available. Written permission from the owner will be required to undertake an invasive inspection of the property. (Addition fee applies)

Summary

SUMMARY - RESULTS OF INSPECTION

PURPOSE OF THE INSPECTION

The purpose of this inspection is to provide advice to the Client regarding the condition of the Building & Site at the time of inspection.

SCOPE OF INSPECTION & THE REPORT

The Inspection will be carried out in accordance with AS4349.1-2007. The purpose of the inspection is to identify major defects, the incidence of minor defects and safety hazards associated with the property at the time of the inspection. The inspection and reporting is limited to Appendix C of AS4349.1-2007. As per the Building Inspection Agreement.

ACCEPTANCE CRITERIA

The building was compared with a building that was constructed in accordance with the generally accepted practice at the time of construction and which has been maintained such that there has been no significant loss of strength and serviceability. A further inspection is strongly recommended of those areas that were not readily accessible and of inaccessible or obstructed areas once access has been provided or the obstruction removed. This will involve a separate visit to the site, permission from the owner of the property and additional cost. In respect of any defect or significant item identified in this Report, a further detailed investigation by a competent person is strongly recommended to determine the cause, method and extent of any remedial work required, and associated costs. Unless stated otherwise, any recommendation or advice given in this Report should be implemented as a matter of urgency. For further information including advice on the implementation of a preventative maintenance program see Clause A.3 "Important Note".

General

1.1 General Description of the Property

Building Type:

Detached Dwelling

Levels:

Lowest on Concrete Slab

Building Age (approx):

1980's

Dwellings prior to 1990 may contain asbestos therefore an asbestos audit is recommended.

Level of Maintenance

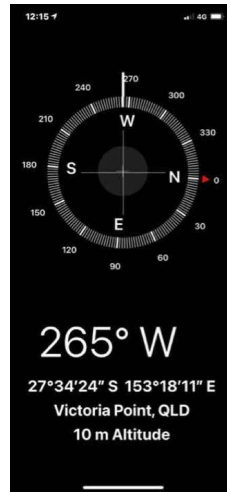
Reasonably Maintained

Siting of the Building

Towards middle of medium block

Direction dwelling faces

West



Asbestos Disclaimer: No inspection for Asbestos was carried out at the property and no report on the presence or absence of Asbestos is provided. You should seek further advice, Asbestos Audit and inspection is recommended prior your decision to purchase the property.

1.2 Primary Method of Construction

Main building - Wall construction

Brick Veneer

Main building - Floor construction

Concrete

Main building - Roof construction

Concrete Tile

1.3 Strata or Company Title Properties

Was the Inspection conducted of a strata or company title property (e.g. a home unit or townhouse)?

No

Was the inspection limited to assessing the interior and immediate exterior of a particular unit?

No

NOTE: If the inspection was limited to assessing the interior of a particular unit, the Client may have additional liability for defects or faults in the common property. This additional liability can only be addressed through the undertaking of a Special-Purpose Inspection Report which is adequately specified.

Incomplete Construction

Was evidence of the original construction and any alterations or additions to the building not complete in the work synonymous with construction noted (but does not include building services)?

No evidence found

Occupancy and Furnished Status

Occupied and fully furnished.

Orientation

To establish the way in which the property was viewed.

The façade of the building faces: The Street

NOTE: For the purpose of this report the façade of the building contains the main entrance door

Prevailing Weather on day of inspection?

The weather on the day of inspection was: fine

Accessibility

See also Clause A.2.**Readily Accessible Areas Inspected. The inspection covered the following Readily Accessible Areas****Building Interior:**

Yes

Building Exterior:

Yes

Roof Exterior:

Yes

Roof Void:

Yes

Subfloor Space:

Not Applicable

The Site including fences:

Yes

Other:

Not Applicable

Areas Not Inspected

The inspection did not include areas that were not readily accessible, inaccessible or obstructed at the time of inspection. See also Clause A.1 – Limitation No 4.

Behind furniture and stored items-refer to report
No inspection under floor coverings conducted

If areas are not inspected because of limitations, you should arrange to have further investigations and inspections before you make your Purchase

Obstructions

Was there any obstructions that may conceal possible defects?

YES

Building Interior:

Yes - Refer to report

Building Exterior:

No

Roof Exterior:

No

Roof Void:

Yes - Refer to report

Subfloor Space:

Not Applicable

Other:

Not Applicable

Undetected Structural Damage Risk Assessment

Due to the level of accessibility for inspection including the presence of obstructions, the overall degree of risk of undetected Structural Damage and Conditions Conducive to Structural Damage was considered: Low.

RECOMMENDATION:

Where the risk is considered "Moderate" or "Moderate-High" or "High", a further inspection is strongly recommended of areas that were not readily accessible, and of inaccessible or obstructed areas once access has been provided or the obstruction removed. This may require the moving, lifting or removal of obstructions such as floor coverings, furniture, stored items foliage and insulation. In some instances, it may also require the removal of ceiling and wall linings, and the cutting of traps and access holes. For further advice consult the person who carried out this report.

CRACKING OF BUILDING ITEMS

Is there Cracking to the external building items?

No - Refer to the building Report

Appearance Defect - *Where in the inspector's opinion the appearance of the building item has deteriorated at the time of the inspection and the significance of this cracking is unknown until further information is obtained.*

Serviceability Defect - *Where in the inspector's opinion the performance of the building item is flawed at the time of the inspection and the expected significance of this cracking is unknown until further information is obtained.*

Structural Defect - *Where in the inspector's opinion the structural soundness of the building item has diminished at the time of the inspection and the expected significance of this cracking is unknown until further information is obtained.*

Important

Regardless of the type of crack(s) a Pre Purchase Building Inspector carrying out a Pre Purchase Inspection within the scope of a visual inspection is unable to determine the expected consequences of the cracks.

Obtaining Information regarding:

- (a) *The nature of the foundation material on which the building is resting,*
- (b) *The design of the footings,*
- (c) *The site landscape,*
- (d) *The history of the cracks and*
- (e) *Carrying out an invasive inspection,*

all fall outside the scope of this Pre Purchase Inspection. However the information obtained from the five items above are valuable, in determining the expected consequences of the cracking and any remedial work needed.

*Cracks that are small in width and length on the day of the inspection **may** have the potential to develop over time into Structural Problems for the Home Owner resulting in major expensive rectification work been carried out.*

If cracks have been identified below, then A Structural Engineer is required to determine the significance of the cracking prior to a decision to purchase.

Exterior Condition Report

7.1 External Wall

Material

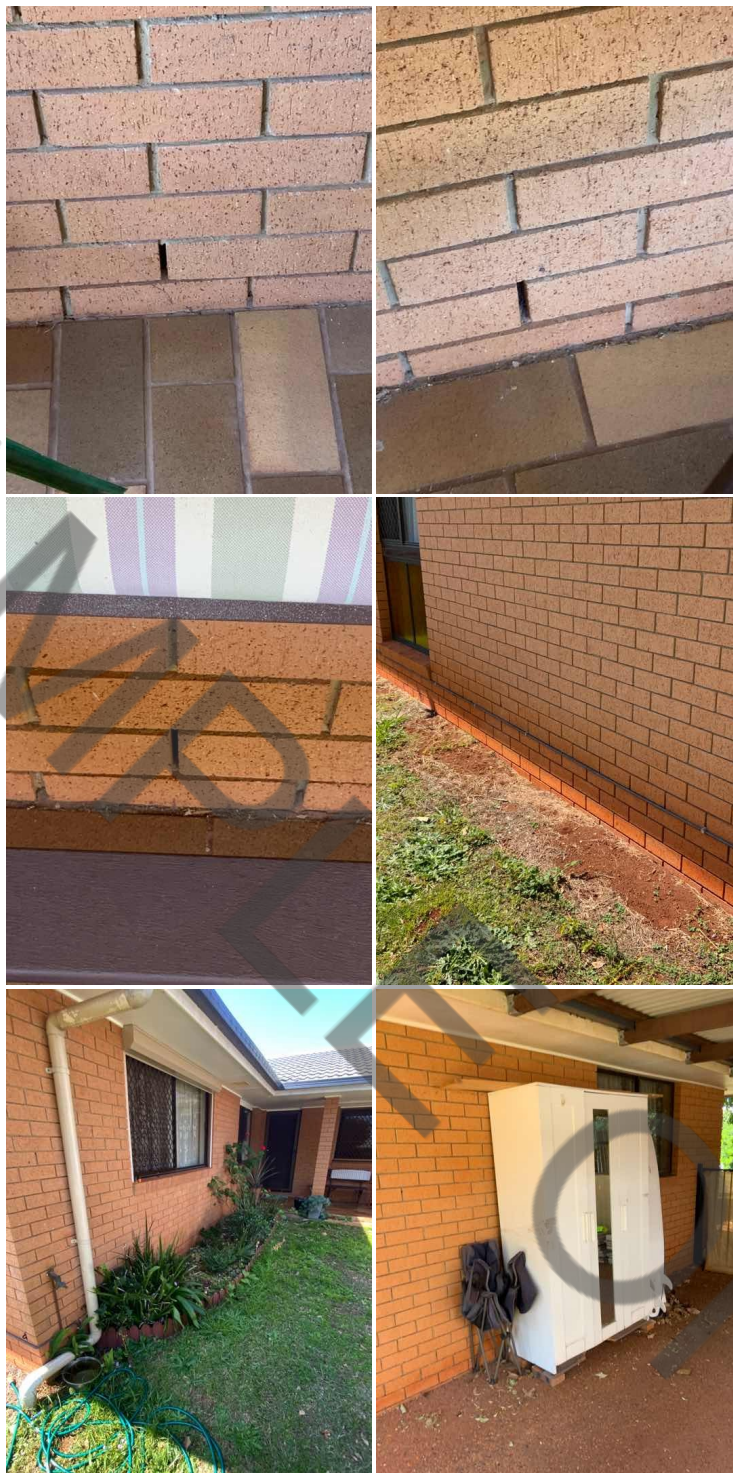
Brick Veneer

Conditions

Good to Fair

Comments

Weep holes do not have min. clearance of 75 mm
 No Expansion/Control Joints
 Stored items against wall restricted inspection
 Different/Discolouration of bricks
 Further investigation recommended
 Maintenance required





SAMPLE FILE ONLY

When cracks are noted and or patch repairs the expected consequence of the cracking or repair can not be fully determined within the scope of a pre-purchase visual inspection. Therefore, it is recommended that a Structural Engineer be consulted to determine the expected consequence of the cracking. Cracking/ movement can be typical of foundation settlement through soil movement; however you can not quantify degree of foundation movement through visual inspection, further investigation is required. Natural deterioration occurs to timbers exposed to the weather continued maintenance is required to maintain structural integrity of material. Articulation/ control joints should be at approximately 5.0-meter centres in accordance with cement and concrete association technical note 61. When Gaps noted in report against Windows, doors or any movement that may be noted, you should seek further advice from a qualified structural engineer before you make your purchase. F C sheeting prior to 1990 may contain asbestos therefore an asbestos audit is recommended. Any repairs or maintenance of asbestos products should only be undertaken by professionals trained in handling of asbestos. Asbestos products should be kept painted and sealed to eliminate air borne fibres. Any minor gaps in cladding should be sealed to minimise water and vermin penetration. When efflorescence is noted or differential colouring to bricks is noted further investigation is required to determine whether rising damp is the issue and needs resolving. Fretting of brickwork can be a result of moisture decaying the brick further investigation is required. Weep Holes without 75mm clearance should be rectified, further investigation required consult builder for cost of repairs before purchase of property. Paint stress to external cladding, you should refer to a painter for cost of repairs before you make your purchase. Trees and shrubs growing within their mature height near dwelling should be removed or root/moisture barriers be installed. Pre purchase report is not a compliance report and does not report on the compliance of fire rated walls or any walls that or within the 900mm minimum zone near boundary therefore a special purpose report is recommended by qualified persons. Zero boundary walls are also classed a Fire wall and requires a special purpose report prior your purchase. Detects noted in brickwork or if trees/shrubs are growing near dwelling you should referred to a builder for costing before you make your purchase. Asbestos Disclaimer: No inspection for Asbestos was carried out at the property and no report on the presence or absence of Asbestos is provided. You should seek further advice, Asbestos Audit and inspection is recommended prior your decision to purchase the property.

7.2 Sills

Material:

Brick
Tiled

Condition:

Good to Fair

Comments:

Cracked/broken tiles to sill
Repairs recommended



This inspection is not a glass compliance inspection and it is recommended that you seek advice from a professional glazer

For further advice on regulations and areas where safety glass is required. Window heights on older style dwellings prior 1990 may not comply with safety heights for high dwellings, of solid glazing up to 1 meter from floor level; we recommend windows to floor levels above ground floor have security screens installed.

Paint stress should be referred to a painter for costing before you make your purchase.

7.3 External windows

Material:

Aluminium and glass

Condition:

Good to Fair

Some imported products containing glass may not comply with safety glass requirements to Australian Standards, recommend engaging glazer for glass compliance of all glazing in dwelling.

This inspection is not a glass compliance inspection and it is recommended that you seek advice from a professional glazer

Before you make your purchase, for further advice on regulations and areas where safety glass is required.

Window heights on older style dwellings prior 1990 may not comply with safety heights for high dwellings, of solid glazing up to 1 meter from floor level.

Windows are tested in a random selection; therefore comments are generalised. A full glazing inspection and window inspection is recommended by qualified glazier

Window to floor level 2 meters above surface ground level in bedrooms necessitates that the window be located 1.7meters above the internal floor level or any window under this height must be protected by either a device that restricts the window opening to an open space no more than 125mm, or a security screen that cannot allow a person to pass through. We recommend windows to floor levels above 2 meters from ground level have security screens installed.

Termite damage or Rot damage you should have a timber pest inspection from a qualified Pest inspector consult builder for cost of repairs before you make your purchase.

Defects mentioned should be referred to a glazier for costing before you make your purchase.

7.4 Eaves

Material:

Fibrous Cement Sheeting

Condition:

Good to Fair

Comments:

Minor cracking to eave sheet
Hole in eaves sheeting
Mould to eaves sheeting
Water staining
Further investigation recommended
Maintenance required





F C sheeting prior to 1990 may contain asbestos therefore an asbestos audit is recommended. Any repairs or maintenance of asbestos products should only be undertaken by professionals trained in handling of asbestos. Asbestos products should be kept painted and sealed to eliminate air borne fibres. If deflection is noted, we recommend invasive inspection to determine reason for deflection. Consult builder to determine cause and cost of repairs if required before you make your purchase.

Asbestos Disclaimer: *No inspection for Asbestos was carried out at the property and no report on the presence or absence of Asbestos is provided. You should seek further advice, Asbestos Audit and inspection is recommended prior your decision to purchase the property.*

7.5 Gutter

Material:

Metal

Condition:

Good to Fair

Comments:

General deterioration of gutters
Debris in gutters-cleaning recommended



Due to breakdown of organic matter that can build up in gutters, acetic acids are produced which can accelerate corrosion. It is suggested that the gutters be cleaned out annually to minimize the potential blocking of the downpipes and the acceleration of corrosion in the gutters. When box gutters are noted with no access further investigation is required. Consult plumber for costing of repairs before making purchase.

Debris in guttering areas- this requires cleaning out to prevent blocking of down pipes and leaking into eaves and fascia. Recommendations: Have gutters cleaned and assessed by a plumber for adequate fall. Also regularly clean to prevent ponding. Ponding water will contribute to rust.

7.6 Downpipes

Material:

PVC

Condition:

Good to Fair

Comments:

Downpipes not connected to stormwater
 Damage to downpipe at junction to stormwater
 Paint stress to downpipe
 Loose downpipe bracket
 Patch repairs downpipe
 Maintenance required





It is recommended that all downpipes be connected to a stormwater system to minimize the potential of localised flooding. High moisture levels can affect the foundations and also encourage termite infestations. Drainage inspection is not carried out under a visual Building inspection only visual defects will be noted, Downpipes are required to have a 25 mm gap from dwelling for visual zone to detect any possible termite activity behind pipe near the ground access area. Consult plumber for costing of repairs and further advice before you make your purchase

7.7 Fascia

Material:

Metal

Condition:

Fair

Comments:

Rot to Fascia
 Splitting to timber fascia
 Minor paint stress
 Further investigation recommended
 Repairs required





It is important to ensure that all external painted surfaces are kept well sealed/painted to minimise damage from the elements.

Timber fascia that is noted with rot requires further investigation by a builder to determine the cause and cost of repairs, before you make your purchase.

Paint stress to fascia should be consulted to a painter for cost of repairs before you make your purchase.

7.8 Pergola

Location:

Rear

Material:

Metal

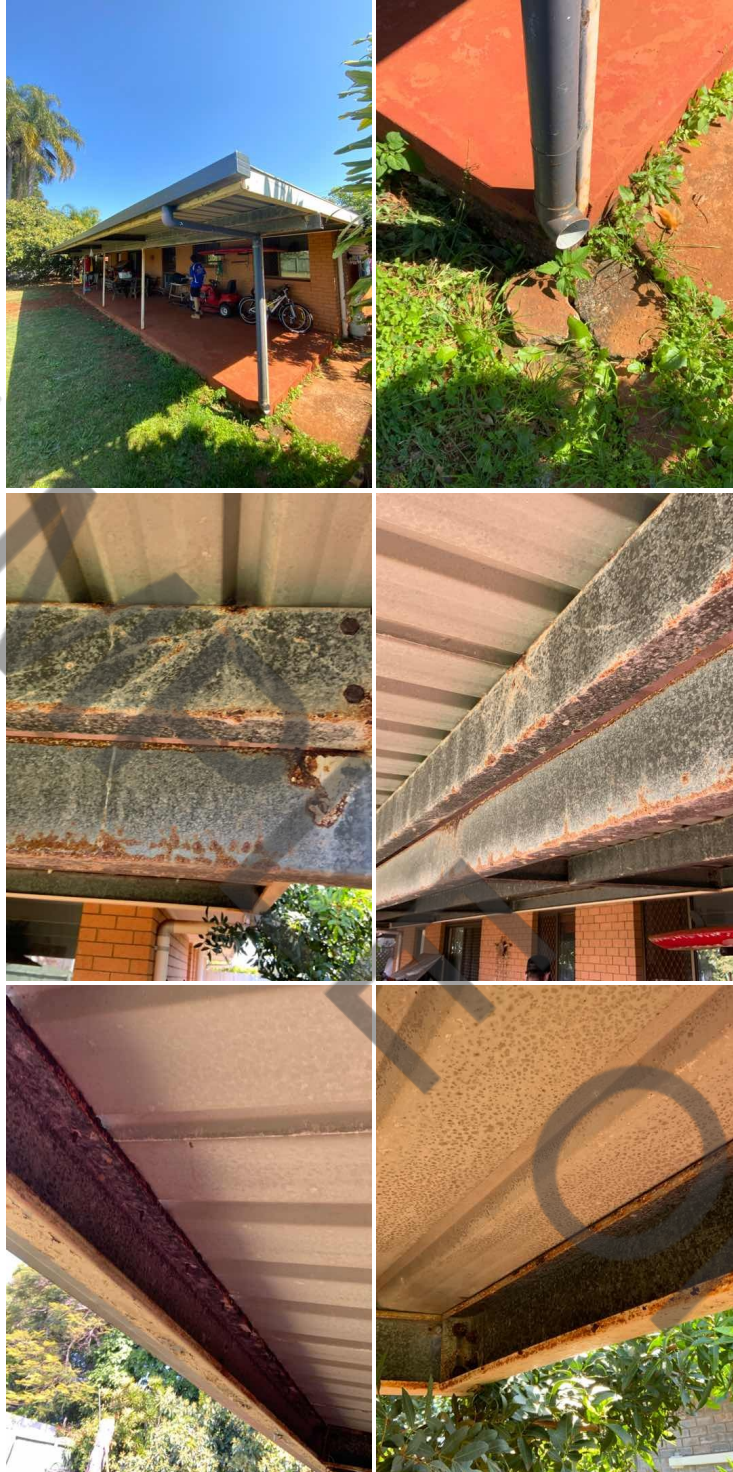
Condition:

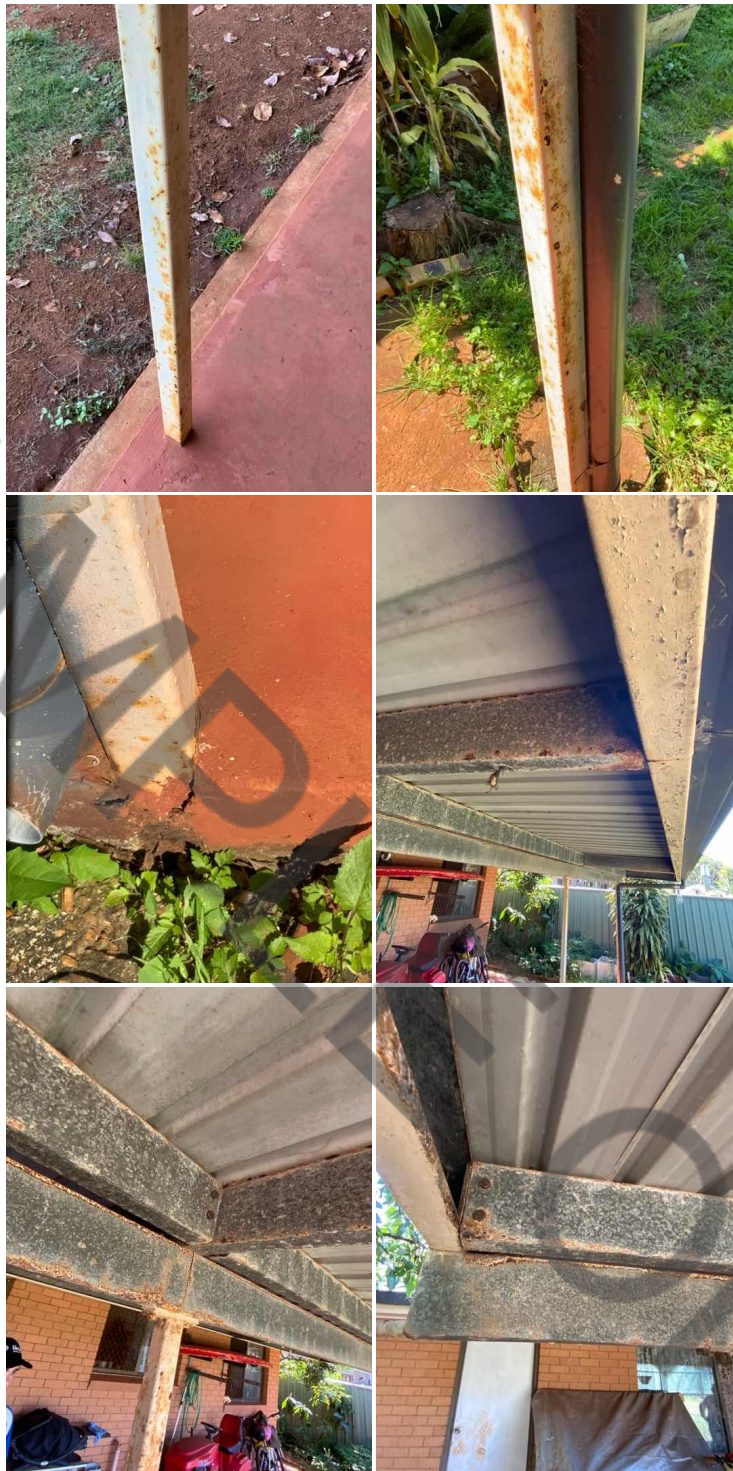
Fair

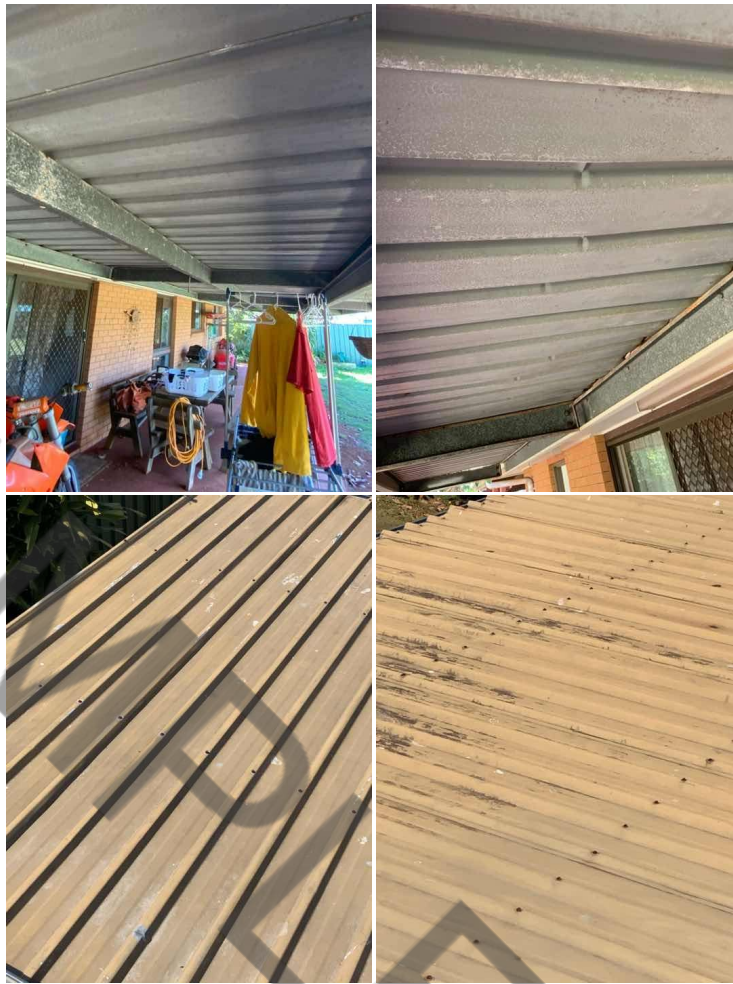
Comments:

No Flashing to pergola roof
 Rust to steel
 Down pipe not connected to stormwater
 Rust roof screws
 Impact damage roof
 Further Investigation Recommended

Repairs recommended







Building Approvals - no opinion is expressed as to whether all Building Approvals have been obtained and/or complied with.

Local Government Building Records have not been searched. Natural deterioration occurs to timbers exposed to the weather continued maintenance is required to maintain structural integrity of material. We are unable to determine if connections to Dwelling is done correctly on a visual inspection therefore, we recommend invasive inspection to determine if pergola connection to dwelling is sufficient and dwelling structure is not compromised.

We recommend that inspections of the timber structure be inspected at least every 12 months and where defects are identified, the appropriate repairs be completed by a qualified tradesman and we also recommend a detailed analysis of condition and structural stability of external timbers of structure by a structural engineer annually.

Pergolas are not checked for correct electrical wiring-this needs to be checked by a qualified electrician, refer to section 5.9 on the report for further details.

Defects noted for pergolas should be referred to a builder or carpenter for cost of repairs before making purchase of property

7.9 External Roof

Material:

Concrete tile

Condition:

Good to Fair

Comments:

Minor cracking to pointing/mortar

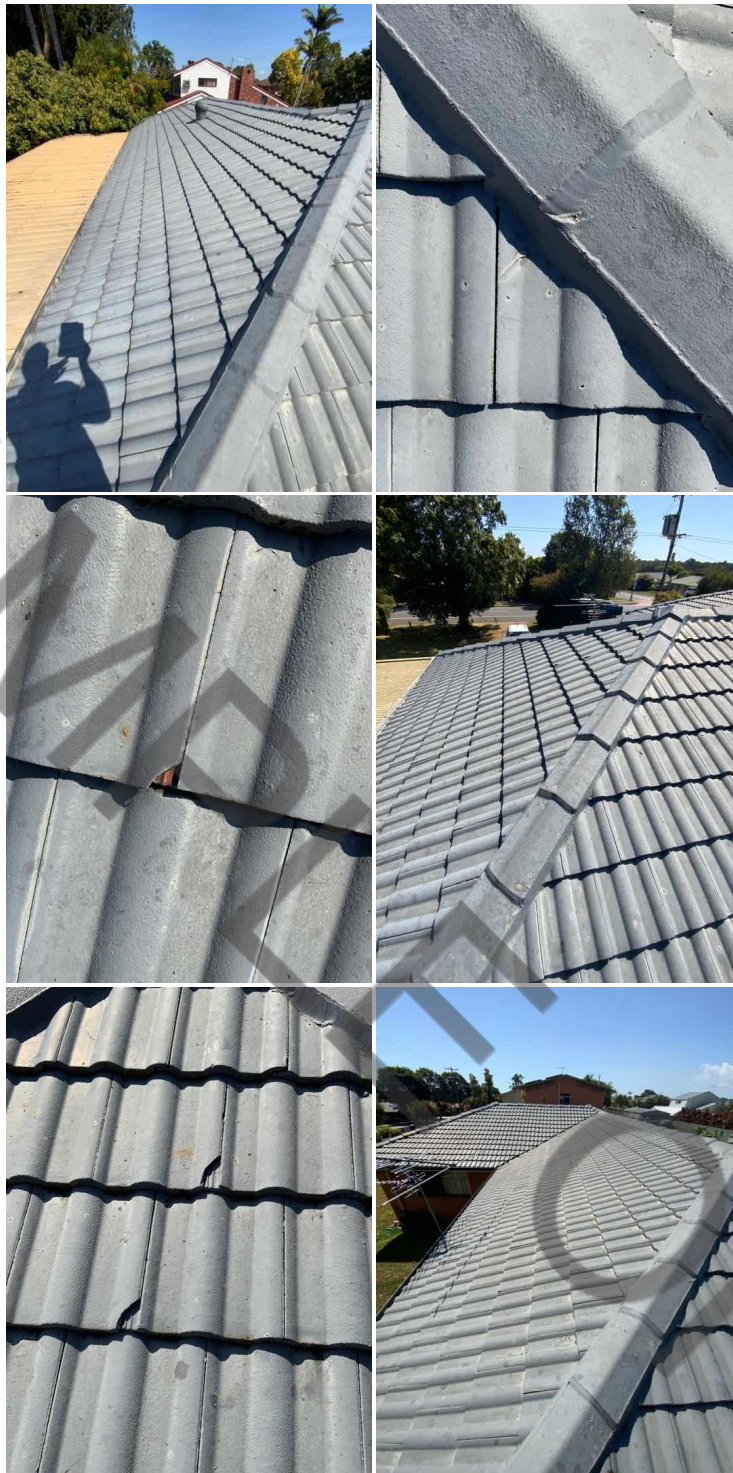
Cracking to roof tiles x2

Broken tiles x3

Further investigation recommended

Maintenance required







General maintenance and upkeep of roof should be done regularly to maximise life span of roofing material

When access is not gained to exterior of roof further investigation is required to check on condition of structure before you make your purchase.

Invasive inspection is recommended to ensure roof structure is connected correctly to wall framing.

The number of broken and cracked tiles noted in this report is only an estimate and you should engage a roof tiler before you make your purchase.

Metal roof of dwelling uses silicone to seal joints in roof, this needs to be maintained to prevent water penetration.

Defects noted on roof, you should consult roof plumber or roof tiler for cost of repairs before you make your purchase.

7.10 Garage (externally and internally).

Location:

Attached to dwelling

Material:

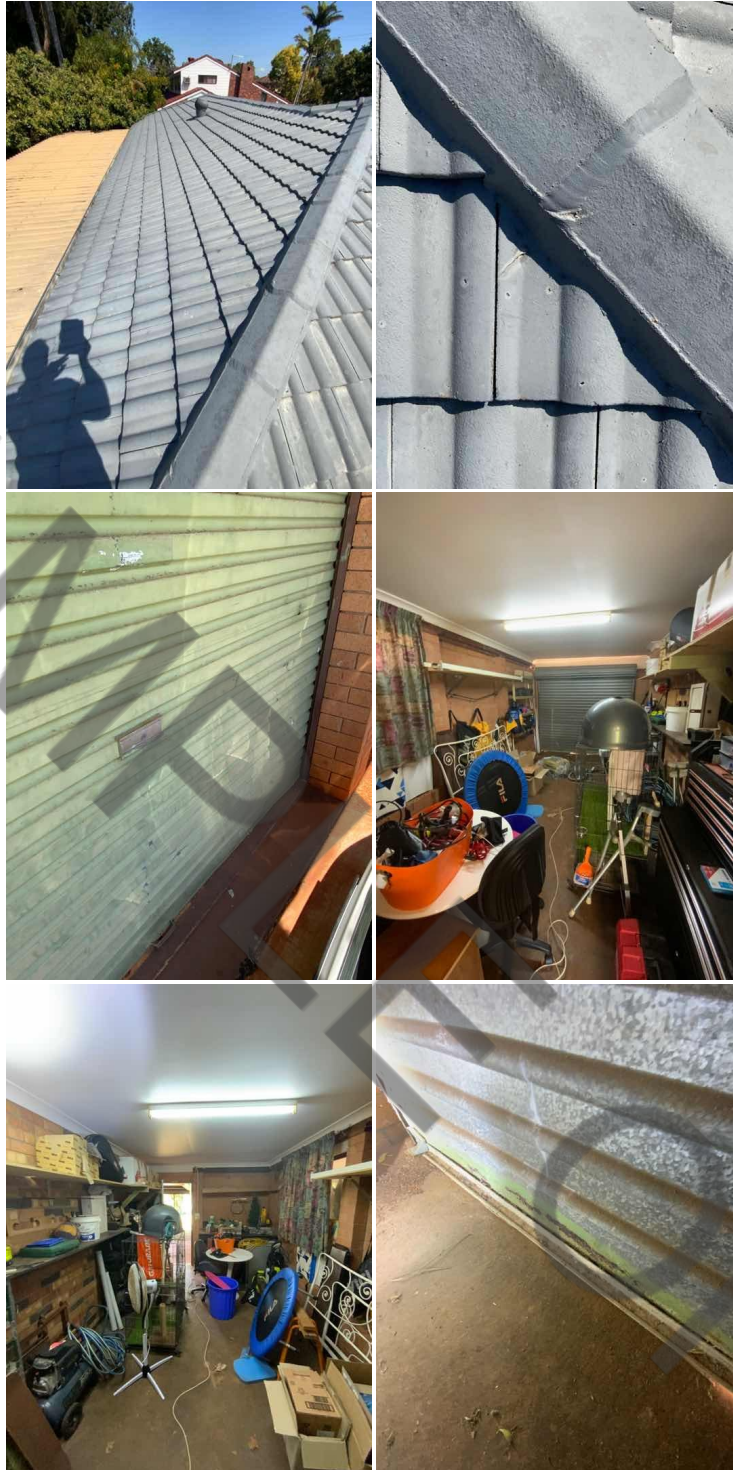
Single Skin Brick

Condition:

Good to Fair

Comments:

- Minor cracking to garage floor
- Minor impact damage garage door
- Excessively stored items restricted inspection
- No access to walls
- Rust to garage door





The expected consequence of the cracking can not be fully determined within the scope of a pre-purchase visual inspection. Therefore, it is recommended that a Structural Engineer be consulted to determine the expected consequence of the cracking. You can not quantify degree of movement through visual inspection, further investigation is required. When efflorescence is noted or differential colouring to bricks or concrete is noted further investigation is required to determine whether rising damp is the issue and needs resolving. Fretting of brickwork can be a result of moisture decaying the brick further investigation is required. Consult Builder for further advice cost of repairs before you make your purchase. Garages or not checked for correct electrical wiring- this needs to be checked by a qualified electrician, refer to section 5.9 on the report for further details.

7.11 Carport

Location:

Side

Material:

Timber

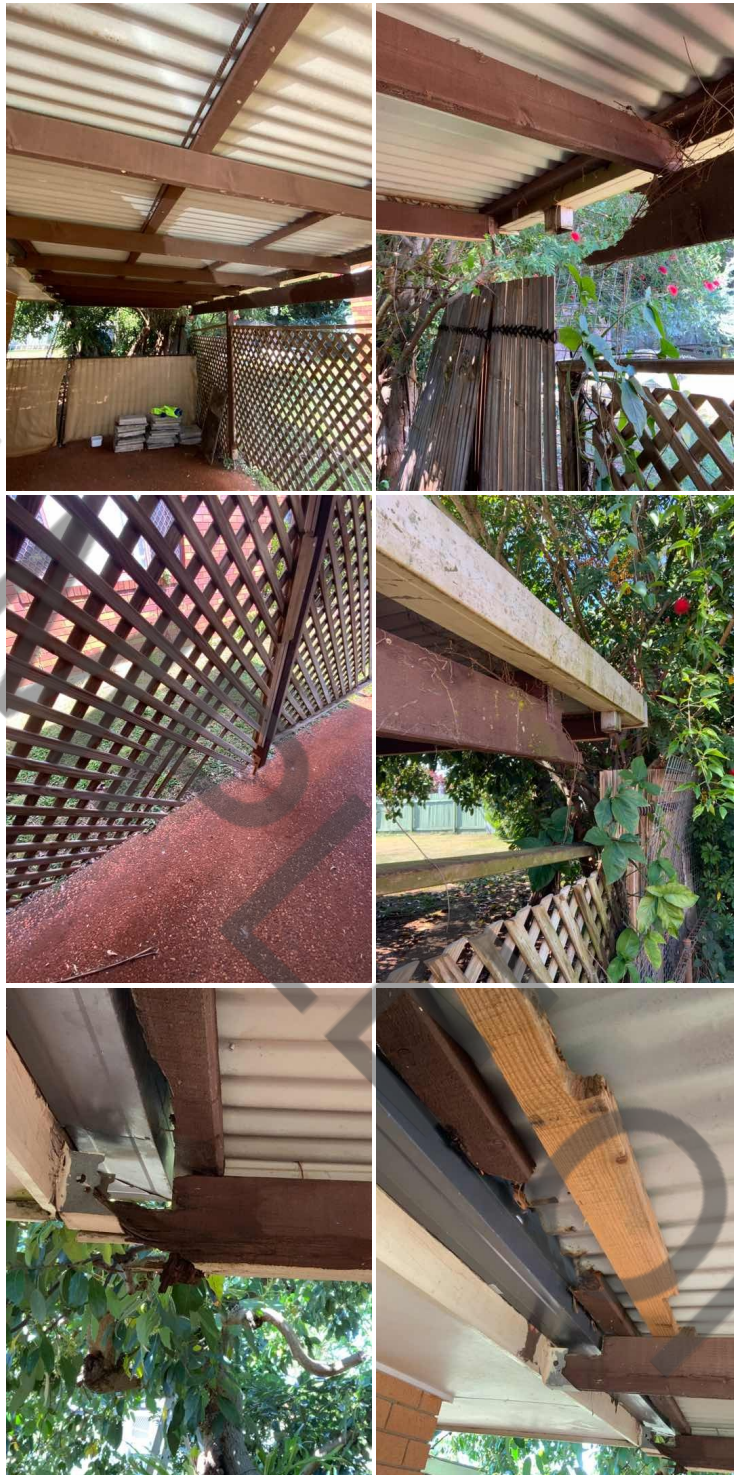
Condition:

Poor

Comments:

Damage to downpipe missing
 Section rotten and missing
 Rot to timbers
 Recommend replacement
 Repairs recommended





The expected consequence of the cracking can not be fully determined within the scope of a pre-purchase visual inspection. Therefore, it is recommended that a Structural Engineer be consulted to determine the expected consequence of the cracking

You can not quantify degree of movement through visual inspection, further investigation is required.

When efflorescence is noted or differential colouring to bricks or concrete is noted further investigation is required to determine whether rising damp is the issue and needs resolving.

Fretting of brickwork can be a result of moisture decaying the brick further investigation is required.

Consult Builder for further advice cost of repairs before you make your purchase.

Garages or not checked for correct electrical wiring-this needs to be checked by a qualified electrician, refer to section 5.9 on the report for further details.

7.12 Veranda/Decks

Location:

Front Entry

Material:

Concrete tiled and brick piers

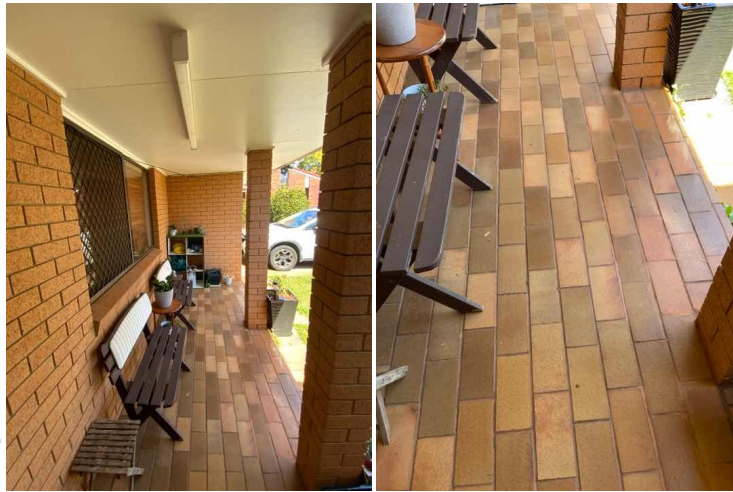
Condition:

Good to Fair

Comments:

Not Applicable





Building Approvals – no opinion is expressed as to whether all Building Approvals have been obtained and/or complied with.

Local Government Building Records have not been searched. Natural deterioration occurs to timbers exposed to the weather continued maintenance is required to maintain structural integrity of material.

We recommend the structural integrity and construction be assessed by an engineer or other suitably qualified person for a detailed analysis of the condition and structural suitability.

Annual inspections of external timbers should be undertaken by structural engineer, and people using external timber structure, care should be undertaken not to overload the structure.

We recommend that inspections of the timber structure be inspected at least every 12 months and where defects are identified, the appropriate repairs be completed by a qualified tradesman and we also recommend a detailed analysis of condition and structural stability of external timbers of structure by a structural engineer.

When handrail heights are below 1 meter or have gaps more than 125mm, they do not meet current legislation and need to be rectified

Decks below 1800mm of ground level overlooking pool area are required for the handrail to meet pool fencing laws with a height of 1200mm and gaps no more than 100mm

Defects not for Verandas should be referred to a builder or carpenter for cost of repairs before making purchase of property.

Decks in contact with ground required 25mm inspection clearance from dwelling.

Cracked tiles, drummy tiles and loose or missing grout should be referred to a tiler for costing before you make your purchase.

When people are likely to use the external structure, Care is to be taken not to overload the structure.

7.13 Other Structures

Location:

Detached from dwelling

Description:

Garden shed

Material:

Metal Cladding

Condition:

Good to Fair

Comments:

Door not sliding correctly



Building Approvals – no opinion is expressed as to whether all Building Approvals have been obtained and/or complied with.

The expected consequence of the cracking can not be fully determined within the scope of a pre-purchase visual inspection. Therefore, it is recommended that a Structural Engineer be consulted to determine the expected consequence of the cracking

You can not quantify degree of movement through visual inspection, further investigation is required.

When efflorescence is noted or differential colouring to bricks or concrete is noted further investigation is required to determine whether rising damp is the issue and needs resolving.

Fretting of brickwork can be a result of moisture decaying the brick further investigation is required.

Consult Builder for further advice cost of repairs before you make your purchase.

Garages or not checked for correct electrical wiring-this needs to be checked by a qualified electrician, refer to section 5.9 on the report for further details.

7.14 Granny Flat/Other Dwelling (Exterior).

Material:

Not Applicable

Building Approvals - no opinion is expressed as to whether all Building Approvals have been obtained and/or complied with.

The expected consequence of the cracking can not be fully determined within the scope of a pre-purchase visual inspection. Therefore, it is recommended that a Structural Engineer be consulted to determine the expected consequence of the cracking

You can not quantify degree of movement through visual inspection, further investigation is required.

When efflorescence is noted or differential colouring to bricks or concrete is noted further investigation is required to determine whether rising damp is the issue and needs resolving.

Fretting of brickwork can be a result of moisture decaying the brick further investigation is required.

Consult Builder for further advice cost of repairs before you make your purchase.

Dwellings are not checked for correct electrical wiring-this needs to be checked by a qualified electrician, refer to section 5.19 on the report for further details.

Dwellings are not checked for Plumbing and drainage- this needs to be check by a qualified Plumber, drainer and gas refer to section 5.18

No appliance inspection is carried out with this inspection consult appropriate trade for further advice.

This is a general indication of the dwelling and does not go into full detail of dwelling, this can be arranged with a special purpose report at an additional cost.

Detects noted to the dwelling should referred to a builder for costing before you make your purchase.

7.15 Subfloor

Material:

Not Applicable

Subfloor with brick or masonry base that has soil against the base may not be waterproof. This can not be determined from a visual Inspection, water penetration through wall may only be present during heavy rains which will allow soil moisture content to seep through any wall which has not been waterproofed.

You cannot quantify whether the wall has been waterproofed on a visual inspection, further investigation is required and

Drainage inspection is recommended from appropriate trades.

When efflorescence is noted is noted further investigation is required to determine whether rising damp is the issue and needs resolving.

Hgh set houses that have had subfloor area filled into rooms with ceiling and walls- should seek local authority for renovation approval requirements, before you make your purchase.

Magnesite flooring disclaimer: *No inspection for Magnesite Flooring was carried out at the property and no report on the presence or absence of Magnesite flooring is provided. You should ask the owner whether Magnesite flooring is present and/or seek advice from a structural engineer. No inspections under floor coverings.*

Good subfloor ventilation is important in minimising infestation by timber pests and preventing damp problems, decay of timbers, and problems through walls. If ventilation is reported as inadequate you consult a Builder or qualified ventilation contractor for repairs.

Defects noted in subfloor area should be referred to a builder for costing of repairs and further advice before you make your purchase.

7.16 External Stairs

Material:

Not Applicable

When hand rail heights are below 1 meter around stairwell or have gaps more than 125mm, they do not meet current legislation and need to be rectified, handrail heights from front nosing of stair treads measured in a vertical direction must be at least 865mm and gaps to rail no more than 125mm or they do not meet current legislation and need to be rectified. Stair rises should not have open gap of more than 125mm or a rise bigger than 190mm, tread width no less than 240mm, or they need to be rectified. Stairs over 3 risers require handrails and are considered a safety issue if not installed. Stairs without non slip surface or non-slip nosing strips are considered safety issue, non-slip surfaces may deteriorate over time and require maintenance.

We recommend that inspections of the timber structure be inspected at least every 12 months and where defects are identified, the appropriate repairs be completed by a qualified tradesman and we also recommend a detailed analysis of condition and structural stability of external timbers of structure by a structural engineer annually.

Stairs and handrails that are not to current legislation should be referred to a builder for costing before you make your purchase.

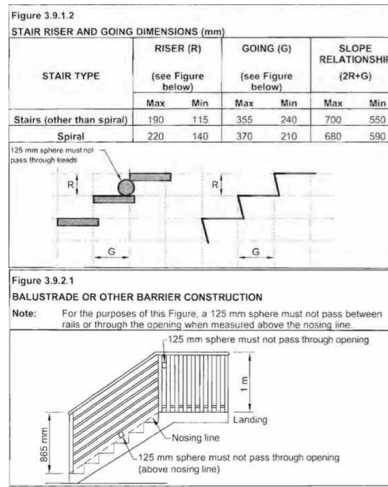
Rust or timber rot to stairs and handrails should be referred to a builder for costing before you make your purchase.

There are two regulation covered by the NCC, one for stairs serving habitable rooms and one for stairs servicing non-habitable rooms.

Some of the key code regulations for stairs serving habitable rooms are:

- (a) Each flight must not have more than 18 or less than 2 risers*
- (b) The height and depth of stair treats must be consistent throughout each flight of stairs*
- (c) If the stir is higher than 10m or three storeys, the treads must be solid*
- (d) If the stair is an open stair, the riser opening must be less than 125mm*
- (e) The gap between balustrade and railings, whether vertical or horizontal, must be less than 125mm*

Refer to diagrams below:



7.17 Hot Water System

Location:

Outside

Type:

Electric

Size:

250 Litres

Age:

2020

Condition:

Good

Comments:

Not Tested

Consult Plumber for further advice



Hot water systems are not tested, and we recommend you engage a plumber and electrician to test system before your purchase.

7.18 Meter Box

Meter Box Located?

Yes

Safety Switch Installed?

Yes

Old style fuses still installed

Consult an Electrician

Safety Switch Installation Required?

No

Off peak Power Connected?

Yes - Consult an Electrician



Earth leakage circuit breaker (Safety Switch) should be tested by a licensed electrician to determine if all power and lighting outlets are connected to this circuit and that it works. Meter box and switch boards require electrician to test and inspect, this is recommended before you purchase the property.

Site Condition Report

8.1 Driveway

Material:

Concrete

Condition:

Good to Fair

Comments:

Cracking to driveway

Classification-Slight <5mm

Cars parked on driveway restricted inspection



When cracking has occurred to the driveway, these cracks are caused by product shrinkage during curing and/or settlement. We are unable to determine the expected consequences on a visual inspection therefore you should consult a structural engineer to determine future consequences.

You can not quantify degree of movement through visual inspection, further investigation is required.

Consult concreter for cost of repairs or maintenance before you make you purchase

8.2 Path/s

Material:

Concrete

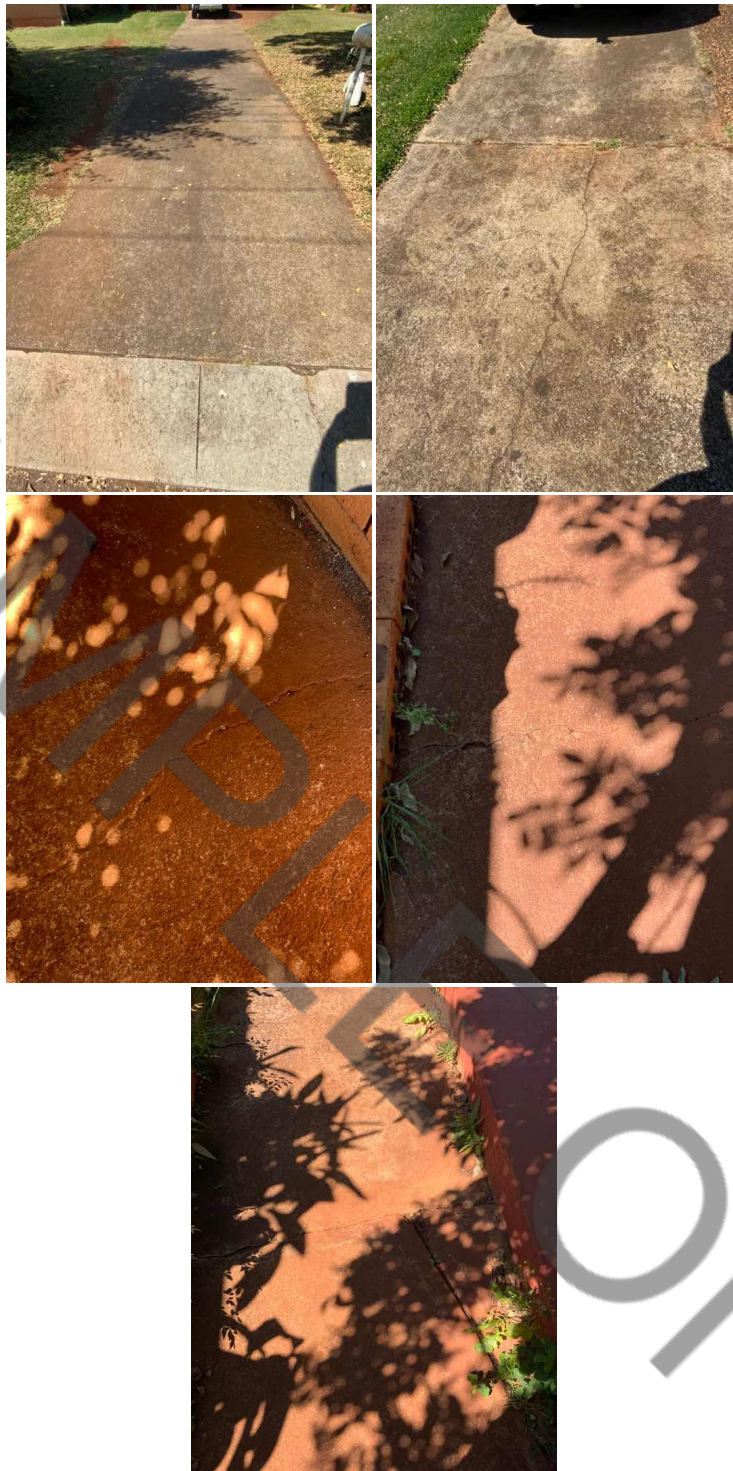
Condition:

Good to Fair

Comments:

Cracking to path

Classification-Slight <5mm



When cracking has occurred to the Pathways, these cracks are caused by product shrinkage during curing and/or settlement. We are unable to determine the expected consequences on a visual inspection therefore you should consult a structural engineer to determine future consequences.

You cannot quantify degree of movement through visual inspection, further investigation is required.

Consult concreter for cost of repairs or maintenance before you make you purchase.

8.3 Fencing

Material:

Post Wire

Condition:

Good to Fair

Comments:

Restricted access due to vegetation

Further investigation recommended



8.3 Fencing 2

Material:

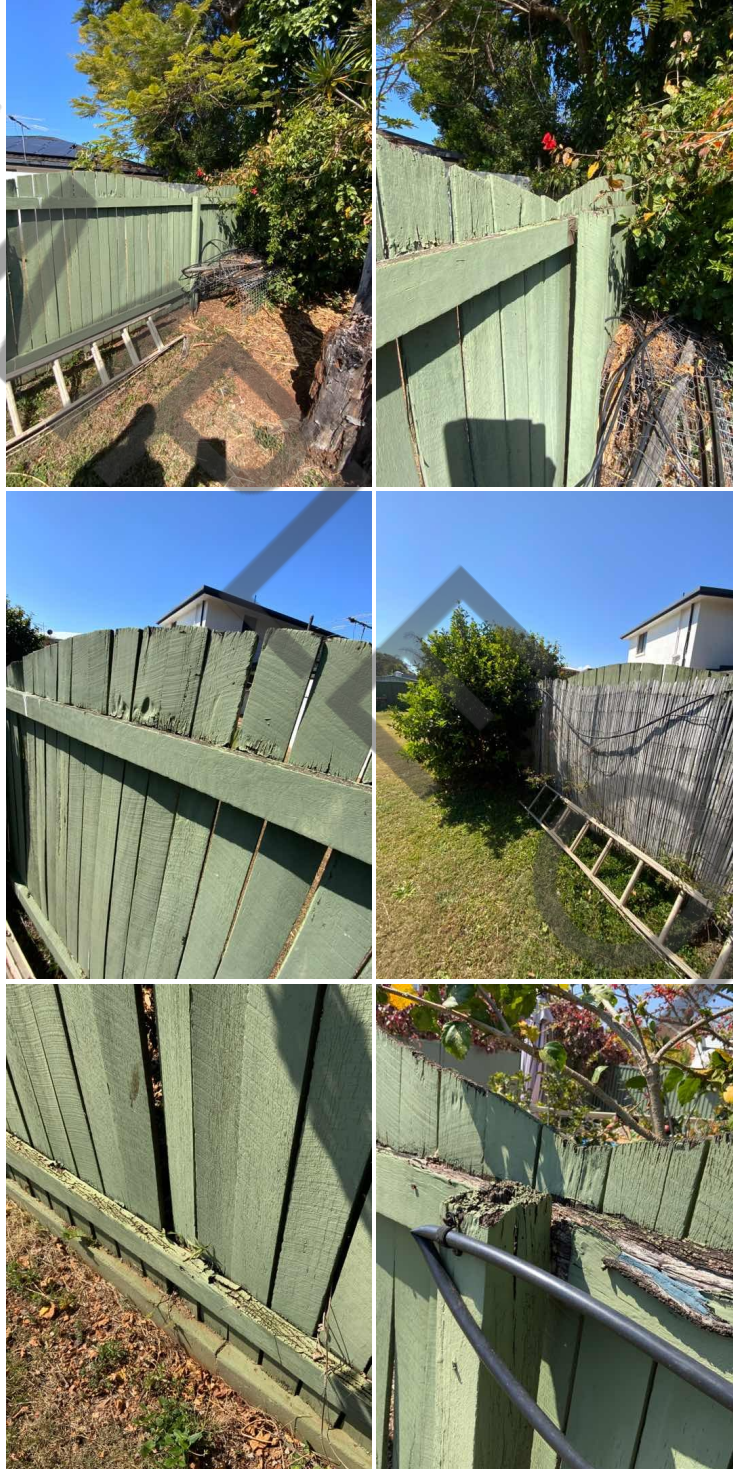
Painted Timber

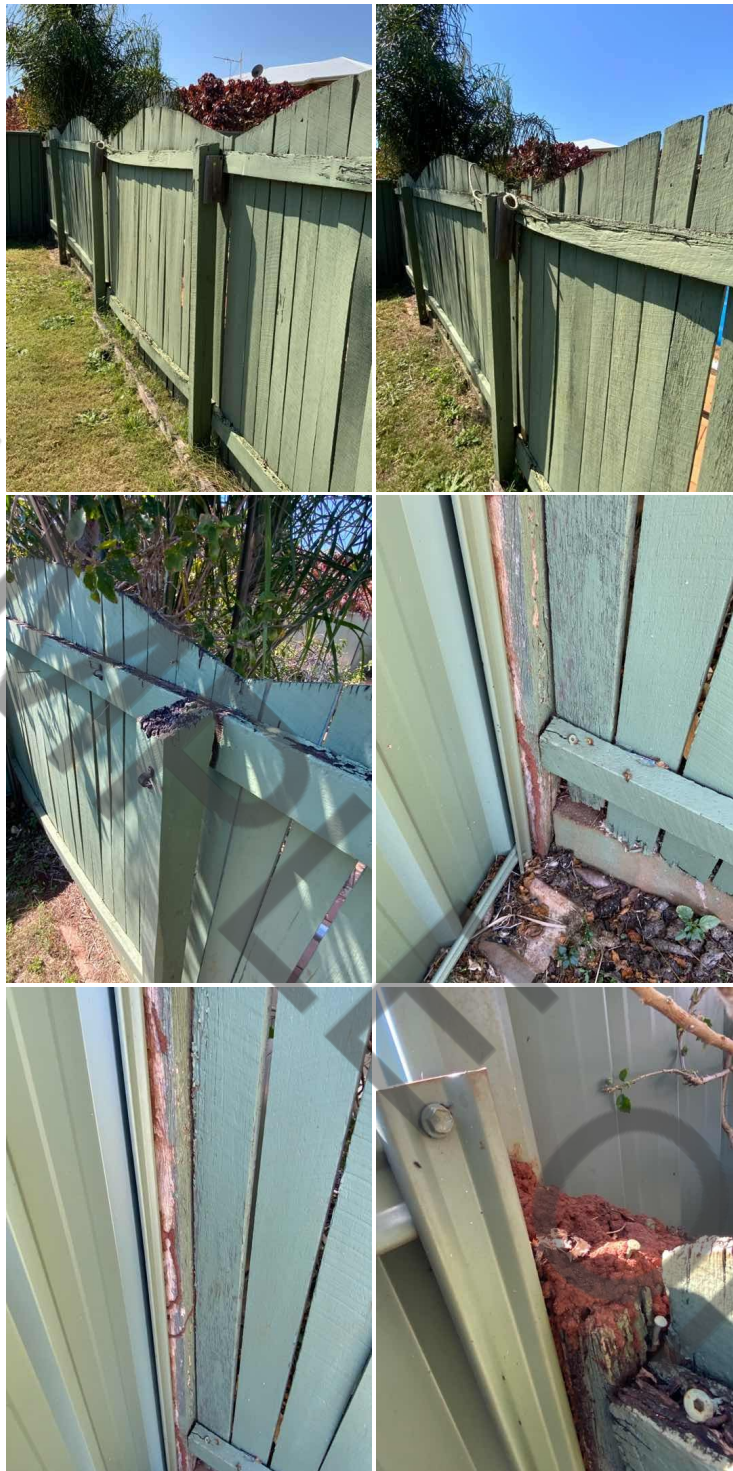
Condition:

Poor

Comments:

- Rot to fence timbers
- Rot to base of timber posts
- Loose fixings to fence
- Fence wobbles
- Termite damage to timbers
- Restricted access due to vegetation
- Repairs recommended
- Recommend replacement





8.3 Fencing 3

Material:

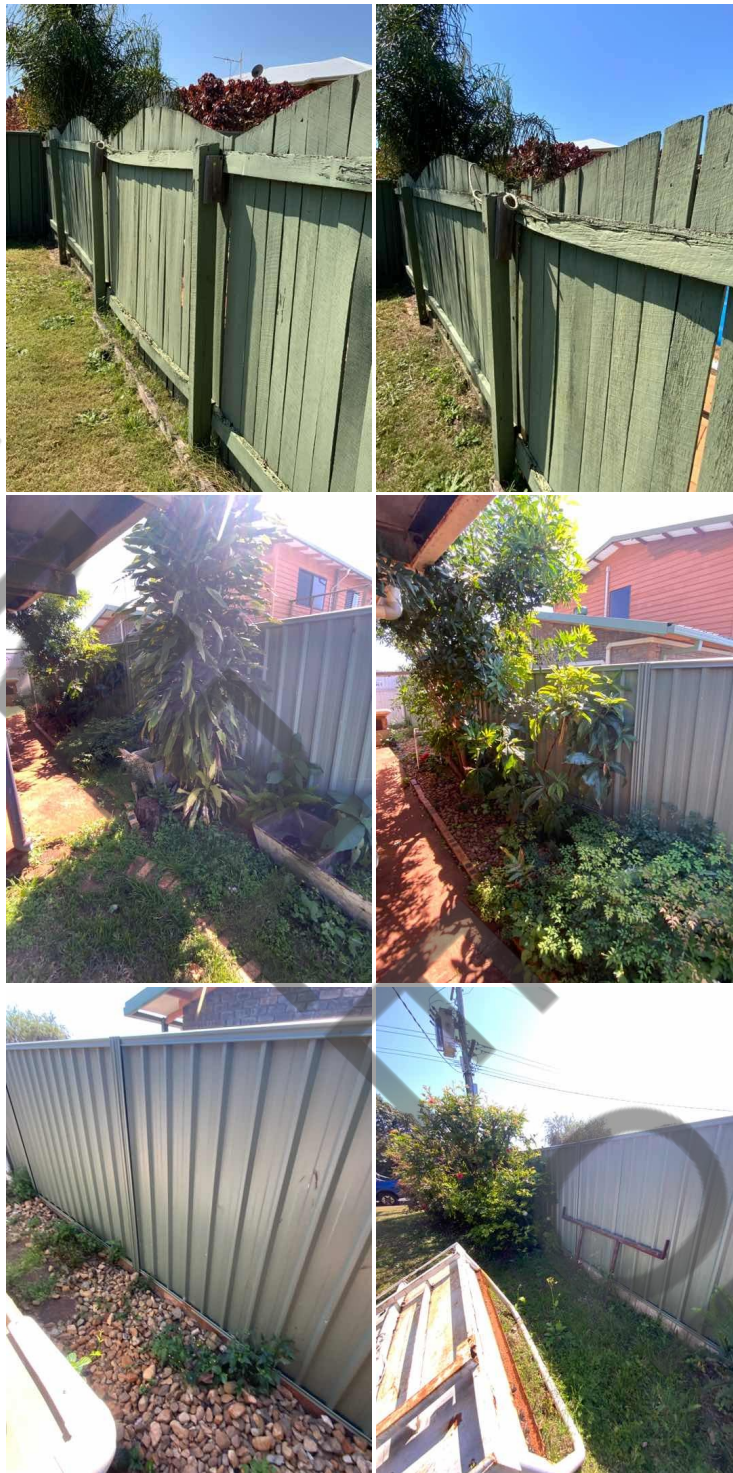
Colourbond

Condition:

Good to Fair

Comments:

Restricted access due to vegetation



When cracking has occurred to the Fencing, these cracks are caused by product shrinkage during curing and/or settlement. We are unable to determine the expected consequences on a visual inspection therefore you should consult a structural engineer to determine future consequences.

You can not quantify degree of movement through visual inspection, further investigation is required.

Rot and termite to fence or any other defects to fencing noted should be referred to a builder for cost of repairs before you make your purchase. Timber pest inspection is recommended when rot and termite damage is noted in inspection.

8.4 Retainer Walls

Material:

Not Applicable

Whilst we are not structural engineers a general comment has been made on the retaining wall as a courtesy and a structural engineer is required for further detailed information. Natural deterioration occurs to timbers exposed to the weather and continued maintenance is required to maintain structural integrity of material

You can not quantify degree of movement through visual inspection, further investigation may be required.

Rot and termite to Retainer or any other defects to Retainer walls noted should be referred to a builder for cost of repairs before you make your purchase. Timber pest inspection is recommended when rot and termite damage is noted in inspection.

We recommend that inspections of the timber structure be inspected at least every 12 months and where defects are identified, the appropriate repairs be completed by a qualified tradesman and we also recommend a detailed analysis of condition and structural stability of external timbers of structure by a structural engineer annually.

Retainer walls over 1000mm tall should have a special purpose report from engineer, ensure approvals have been done for walls before making your purchase.

8.5 Surface Drainage

Gradient:

The land is gently sloping

Condition:

Good to Fair

Comments:

Maintain good drainage around dwelling
Consult plumber/drainer for further advice
Further investigation recommended

Stormwater and drainage pipes have not been tested, consult a licensed plumber and drainer for further advice

A visual inspection of grounds cannot always quantify degree of drainage required around dwelling, recommend consult plumber and drainer for drainage inspection and further advice.

Land should slop away from dwelling and if sloping towards appropriate drainage should be installed to divert water away from dwelling- consult plumber and drainer for further advice and/or a hydrologist.

Weep Holes that don't have 75mm clearance need to be rectified- consult builder or tradesman for rectification

Flood report Disclaimer: *No Inspection for Flooding was carried out at the property and no report on the presence or absence of Flooding on property or to dwelling is provided. You should seek further advice and have relevant flood searches done before your decision to purchase the property*

8.6 Pool Fencing

Comments:

Not Applicable

Swimming Pools: *Swimming Pools/Spas are not part of the Pre-Purchase Report under AS4349.1-2007 and are not covered by this Report. We strongly recommend a pool expert should be consulted to examine the pool and the pool equipment and plumbing as well as the requirements to meet the standard for pool fencing. Failure to conduct this inspection and put into place the necessary recommendations could result in finds for noncompliance under the legislation.*

Pool fencing is a requirement by most council's regardless the age of the pool. Ensure that you consult the relevant council for advice on the pool fencing requirements for this property. CPR signage is required to be placed in an area that is readable from the entire pool area and highly visible.

When doors or windows open directly onto pool area, they require to be made safe with no access to pool area-consult local authority for further advice. Inspection is for advice only; pool safety certificate and inspection are required from qualified person.

Interior Condition Report

9.1 Restrictions

Comments:

Floor coverings restricted inspection
 No inspection under floor coverings conducted
 Window furnishings restricted inspection
 Inspection restricted due to household furnishings
 Stored items restricted inspection
 Restricted access to cupboards due to stored items
 Majority of walls obstructed restricted inspection
 Heavily stored items restricted access to walls
 Further investigation recommended

F C sheeting prior to 1990 may contain asbestos therefore an asbestos audit is recommended. Any repairs or maintenance of asbestos products should only be undertaken by professionals trained in handling of asbestos. Asbestos products should be kept painted and sealed to eliminate air borne fibres. Some imported products after 1990 may contain Asbestos. Asbestos products can be in wall and ceiling sheeting, flooring material, eaves sheeting and drainage piping, etc.

Some imported products containing glass may not comply with safety glass requirements to Australian Standards, recommend engaging glazer for glass compliance of all glazing in dwelling

When cracks are noted, an evaluation is required to determine the causes or potential causes of the cracking. You can not quantify degree of movement through visual inspection; further investigation is required By Structural engineers to determine any future consequences. Defects noted in this report should be referred to the appropriate tradesman or builder before making purchase of Dwelling.

Asbestos Disclaimer: *No inspection for Asbestos was carried out at the property and no report on the presence or absence of Asbestos is provided. You should seek further advice, Asbestos Audit and inspection is recommended prior your decision to purchase the property.*

When restrictions are noted further investigation is recommended to gain access to restricted areas.

9.2 Ceilings

Material:

Plasterboard

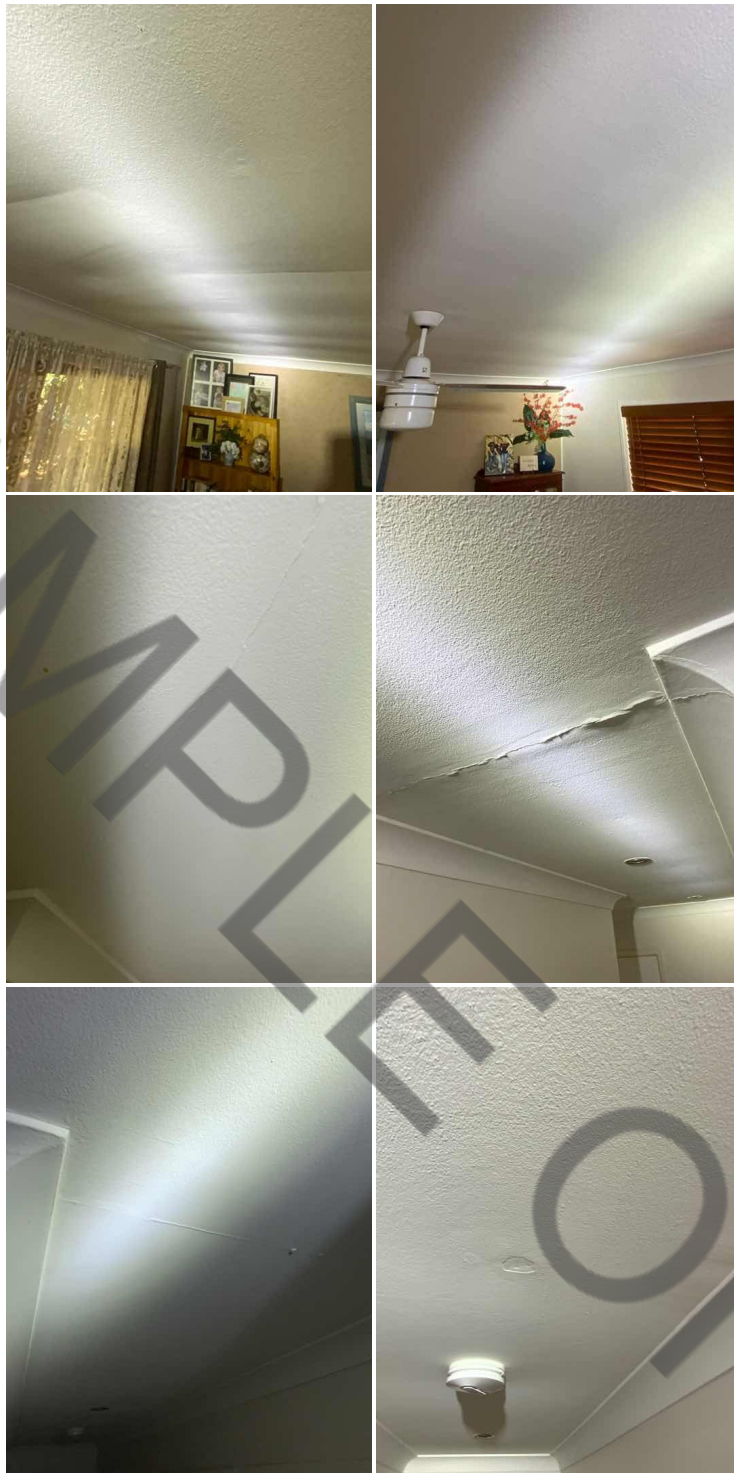
Condition:

Fair

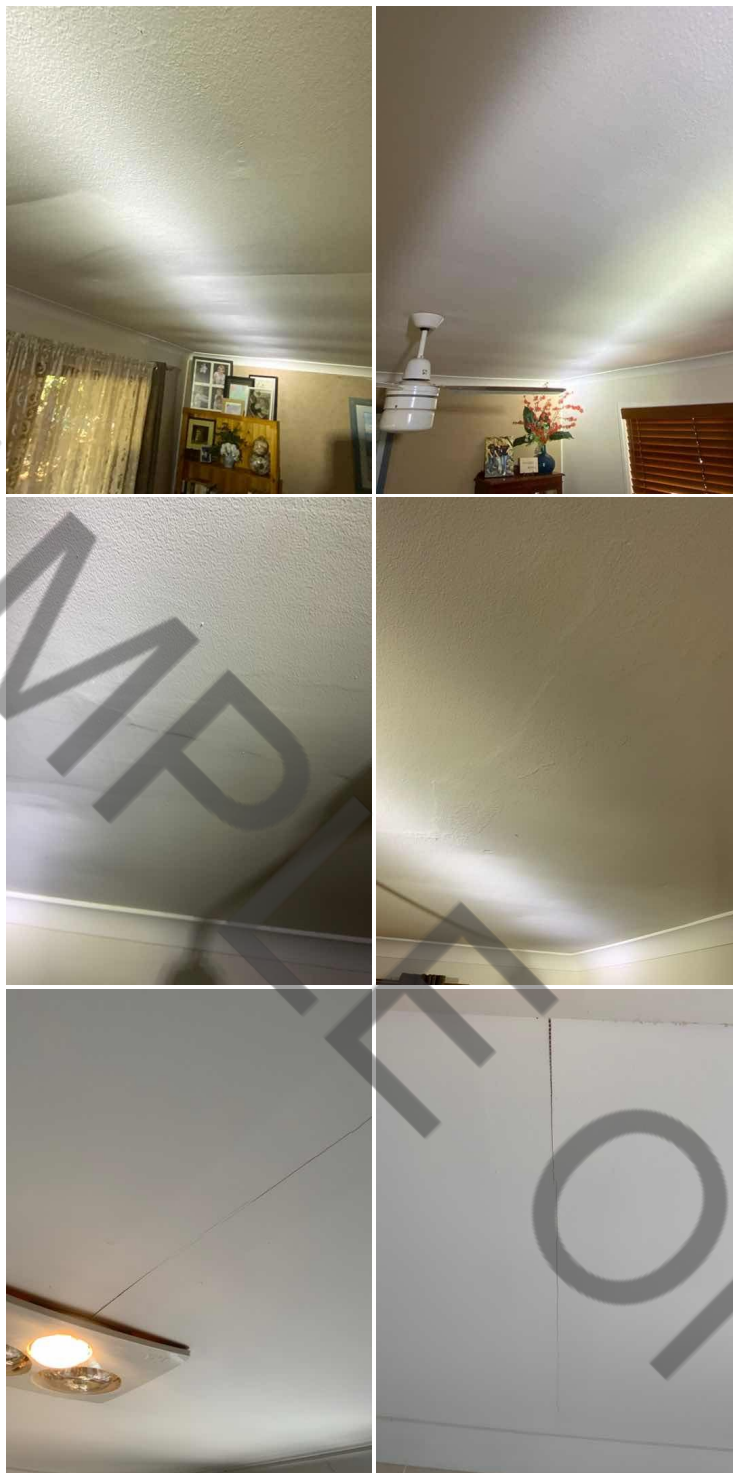
Comments:

- Cracking throughout ceiling in areas
- Nail heads popped/penetration sheeting
- Areas of Delaminated Sheeting in kitchen area
- Patch repairs to ceiling
- Paint Stress To Ceilings
- Further investigation recommended
- Repairs recommended





SAMPLE ONLY



SAMPLE ONLY



When areas of ceiling have delaminated from roof framing – we recommend rescrewing and any exposed nail heads should be filled when next painting. Cracking to plaster ceiling can often be overcome by the use of expansion joints. F C sheeting prior to 1990 may contain asbestos therefore an asbestos audit is recommended. Any repairs or maintenance of asbestos products should only be undertaken by professionals trained in handling of asbestos. Asbestos products should be kept painted and sealed to eliminate air borne fibres

When cracks are noted, an evaluation is required to determine the causes or potential causes of the cracking. You can not quantify degree of movement through visual inspection; further investigation is required.

When water staining or damage is noted, further investigation is required to determine reason for staining and repairs that are required.

Defects to plaster should be referred to a plaster or builder for costing before you make your purchase.

Asbestos Disclaimer: *No inspection for Asbestos was carried out at the property and no report on the presence or absence of Asbestos is provided. You should seek further advice, Asbestos Audit and inspection is recommended prior your decision to purchase the property.*

9.3 Cornice

Material:

Plasterboard

Condition:

Good to Fair

Comments:

Minor cracking to cornice joins
 Minor cracking through cornice
 Patch repairs to cornice
 Maintenance required



Minor cracking to the plaster/cornice are caused by minor building movement and settling and do not represent a long-term structural problem.

When cracks are noted, an evaluation is required to determine the causes or potential causes of the cracking. You can not quantify degree of movement through visual inspection; further investigation is required.

When differential alignment or deflection to cornice is noted further investigation is required to determine reasons for the deflection.

Defects to plaster should be referred to a plaster or builder for costing before you make your purchase.

9.4 Walls

Material:

Plasterboard

Condition:

Good to Fair

Comments:

Minor cracking to walls

Minor impact damage to walls

Patch repairs to wall

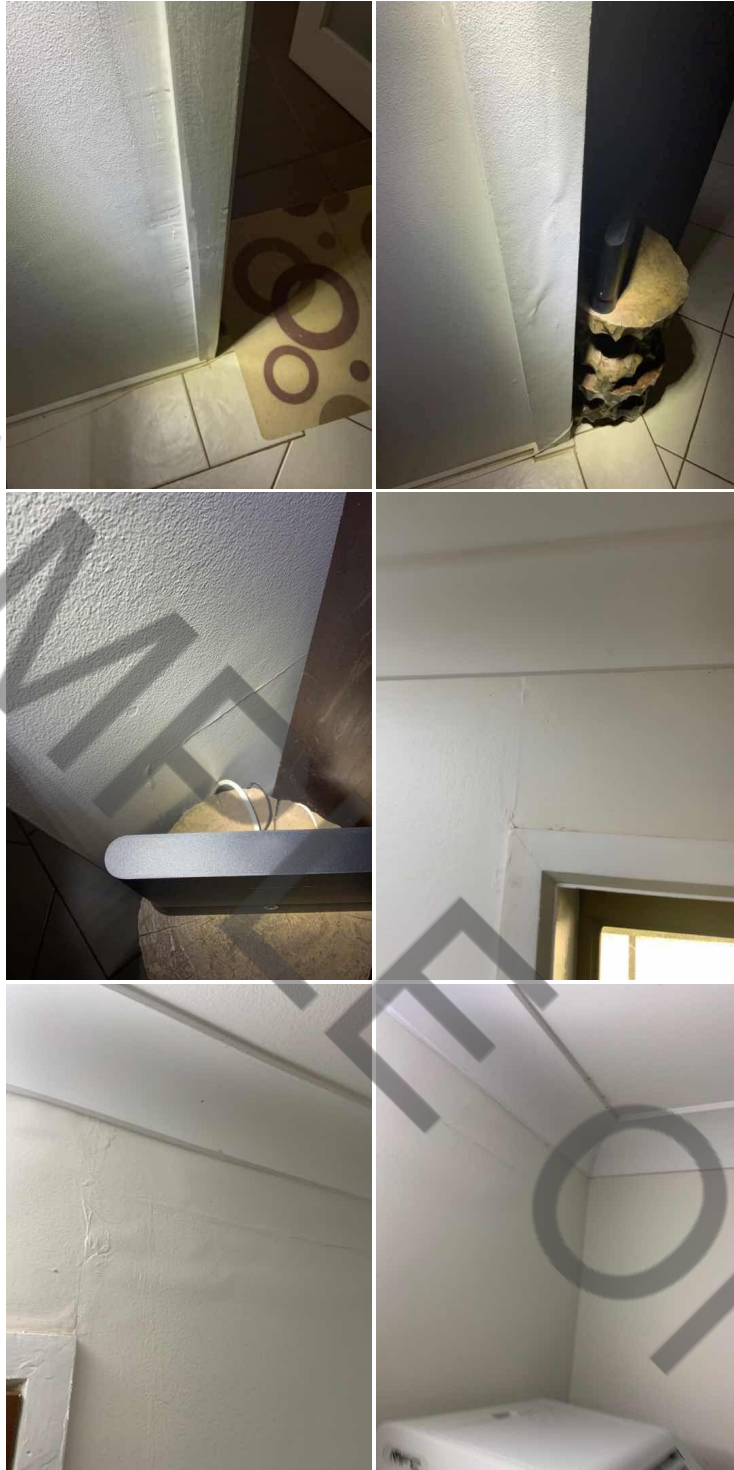
Holes in walls

Further investigation recommended

Maintenance required









F C sheeting prior to 1990 may contain asbestos therefore an asbestos audit is recommended. Any repairs or maintenance of asbestos products should only be undertaken by professionals trained in handling of asbestos. Asbestos products should be kept painted and sealed to eliminate air borne fibres

When cracks are noted, an evaluation is required to determine the causes or potential causes of the cracking. You can not quantify degree of movement through visual inspection; further investigation is required.

When efflorescence is noted is noted further investigation is required to determine whether rising damp is the issue and needs resolving.

Defects to plaster should be referred to a plaster or builder for costing before you make your purchase.

Asbestos Disclaimer: *No inspection for Asbestos was carried out at the property and no report on the presence or absence of Asbestos is provided. You should seek further advice, Asbestos Audit and inspection is recommended prior your decision to purchase the property.*

9.5 Skirting and Architrave

Material:

Timber
Tile

Condition:

Good to Fair

Comments:

Minor separation of skirting from wall
Damaged architrave
Further investigation recommended
Maintenance required



Defects should be referred builder for costing before you make your purchase. Timber rot or any termite damage will require a timber pest inspection and advice from a qualified pest inspector and also Builder for costing of repairs before you make your purchase, Invasive inspection is recommended to confirm extent of any damage.

9.6 Floors

Material:

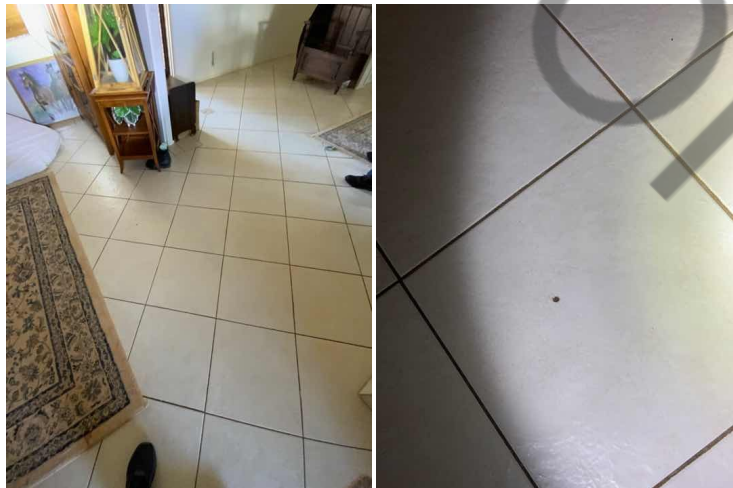
Tiled

Condition:

Good to Fair

Comments:

Cracking to tiles
 Minor evidence of drummy tiles
 Chipped tiles to floor
 No control/expansion joints to tiled floor
 Different colour replaced tile bathroom
 Further investigation recommended
 Maintenance Required







9.6 Floors 2

Material:

Carpet

Condition:

Good to Fair

Comments:

General deterioration to carpet



Magnesite flooring disclaimer: No inspection for Magnesite Flooring was carried out at the property and no report on the presence or absence of Magnesite flooring is provided. You should ask the owner whether Magnesite flooring is present and/or seek advice from a structural engineer. No inspections under floor coverings

Floors are visually checked for level however unless the floor is obviously out of level, we can not tell the levels of flooring

Therefore, a laser level survey is recommended to determine whether the floor is out of level to determine if any problems exist with the flooring. General wear and tear, common scratching to timber floors from general wear and tear are not commented on in this report.

When Drummy tiles are noted you should consult a professional tiler for further advice before you purchase property.

Tiled floor requires control/expansion joints in floors approximately every 4.5m consult tiler

Defects noted in inspection you should consult builder or tradesman for quotes before you make your purchase.

Asbestos Disclaimer: No inspection for Asbestos was carried out at the property and no report on the presence or absence of Asbestos is provided. Some forms flooring may contain asbestos e.g. old lino/vinyl flooring, or some imported floating flooring.

You should seek further advice, Asbestos Audit and inspection is recommended prior your decision to purchase the property.

9.7 Internal Stairs

Material:

Not Applicable

When hand rail heights are below 1 meter around stairwell or have gaps more than 125mm, they do not meet current legislation and need to be rectified, handrail heights from front nosing of stair treads measured in a vertical direction must be at least 865mm and gaps to rail no more than 125mm or they do not meet current legislation and need to be rectified. Stair rises should not have open gap of more than 125mm or a rise bigger than 190mm, tread width no less than 240mm, or they need to be rectified, Head height less than 1980mm in height off the highest nearest tread need to be rectified as head height doesn't meet current legislation. Stairs over 3 risers require handrails and are considered a safety issue if not installed. Stairs without non slip surface or non-slip nosing strips are considered safety issue, non-slip surfaces may deteriorate over time and require maintenance.

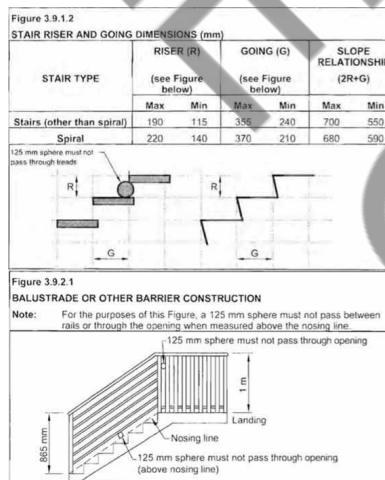
Stairs and handrails that are not to current legislation should be referred to a builder for costing before you make your purchase.

There are two regulation covered by the NCC, one for stairs serving habitable rooms and one for stairs servicing non-habitable rooms.

Some of the key code regulations for stairs serving habitable rooms are:

- Each flight must not have more than 18 or less than 2 risers
- The height and depth of stair treats must be consistent throughout each flight of stairs
- If the stir is higher than 10m or three storeys, the treads must be solid
- If the stair is an open stair, the riser opening must be less than 125mm
- The gap between balustrade and railings, whether vertical or horizontal, must be less than 125mm

Refer to diagrams below:



9.8 Windows and Sills

Material:

Glass and Aluminium

Condition:

Good to Fair

Comments:

- Recommend servicing of rollers
- Minor cracking to window glass
- Mould to window
- Damage fly screens
- Further Investigation Recommended
- Maintenance Required



Some imported products containing glass may not comply with safety glass requirements to Australian Standards, recommend engaging glazer for glass compliance of all glazing in dwelling.

This inspection is not a glass compliance inspection and it is recommended that you seek advice from a professional glazer

Before you make your purchase, for further advice on regulations and areas where safety glass is required.

Window heights on older style dwellings prior 1990 may not comply with safety heights for high dwellings, of solid glazing up to 1 meter from floor level.

Windows are tested in a random selection; therefore comments are generalised. A full glazing inspection and window inspection is recommended by qualified glazier

Window to floor level 2 meters above surface ground level in bedrooms necessitates that the window be located 1.7meters above the internal floor level or any window under this height must be protected by either a device that restricts the window opening to an open space no more than 125mm, or a security screen that cannot allow a person to pass through. We recommend windows to floor levels above 2 meters from ground level have security screens installed.

Termite damage or Rot damage you should have a timber pest inspection from a qualified Pest inspector consult builder for cost of repairs before you make your purchase.

Defects mentioned should be referred to a glazier for costing before you make your purchase

9.9 Doors and Frames

Material:

Timber
Timber and Glass
Aluminium and Glass

Condition:

Good to Fair

Comments:

Recommend servicing of rollers
Paint stress
Damage to door frame
Animal damage door frame and door
Further investigation recommended
Maintenance Required





Some imported products containing glass may not comply with safety glass requirements to Australian Standards, recommend engaging glazer for glass compliance of all glazing in dwelling.

This inspection is not a glass compliance inspection and it is recommended that you seek advice from a professional glazer to identify any safety issues that may be present due to the glass. Before you make your purchase

Defects noted in the inspection should be referred to a builder for costing before you make your purchase.

9.10 Taps

Condition:

Good to Fair

Comments:

Consult Plumber for further advice
 Ensure gap between tap bodies and wall are sealed
 Recommend to replace washers and seals

This is not a Plumbing inspection therefore you should consult qualified plumber/drainer for inspection before you make your purchase.

If water hammer is noted a water hammer arrestor is recommended to be installed to alleviate any water hammer noises of pipes. If plumbing leaks are noted it is recommended you consult plumber for advice, older dwellings with galvanised pipes may experience lower water pressure-consult plumber for advice before you make your purchase.

Defects noted in the inspection you should consult plumber for costing before you make your purchase.

9.11 Kitchen

Condition:

Good to Fair

Comments:

Cabinets in good to fair condition
 Recommend to reseal around kitchen benches
 Deterioration to silicone
 Maintenance Required





When the dwelling is furnished, heavily stored items including cupboards – restrict the inspector from a full inspection. No inspection under or behind kitchen cupboards. Joins at rear and sides of kitchen sink should be kept well sealed to prevent water penetration behind cabinet construction. You should consult a cabinet maker or builder before making your purchase.

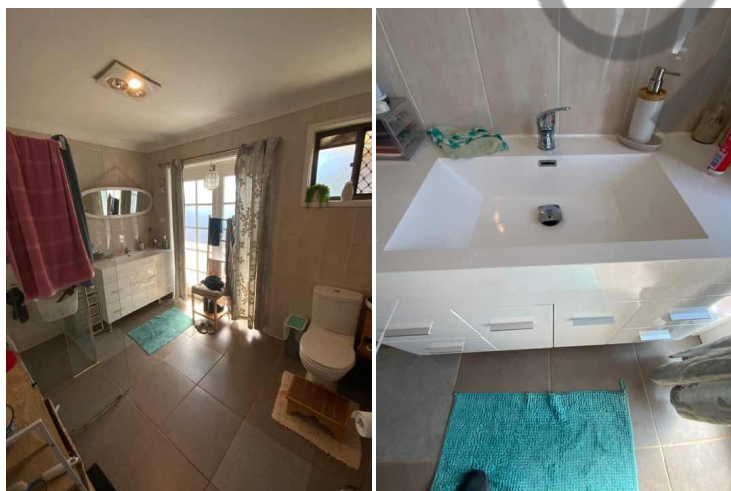
9.12 Bathroom

Condition:

Fair

Comments:

Vanity in good to fair condition
 Ensure gap between tap body and wall is sealed
 Recommend to reseal shower
 Deterioration to silicone - recommend to reseal
 Missing grout to tiles and loose tiles wall
 Minor leak to shower screen - Reseal joins
 Recommended bathroom renovation
 Further investigation recommended
 Repairs recommended





Always ensure any gaps between the tap bodies and shower recess are sealed with silicone sealant to ensure that a water penetration does not occur to the cavity of the wall. Joins at rear and sides of shower recess/es, bathtub, and vanity/ies should be kept well sealed to prevent water penetration behind cabinet construction. Heavily stored items in cupboards – restrict the inspector from a full inspection. No inspection under or behind Vanity cupboards.

If showers have been renovated you should make sure that they have been waterproofed correctly, if not further waterproofing may be required, you should consult waterproofing company before you make your purchase. When the dwelling is noted in this report as being more than 8 years old it is recommended to reseal the showers.

Plumbing and drainage inspection is recommended to all shower and bathrooms before you make your purchase.

Defects noted in the inspection, you should consult a builder for costing before you make your purchase.

9.13 Ensuite

Comments:

Not Applicable

Always ensure any gaps between the tap bodies and shower recess are sealed with silicone sealant to ensure that a water penetration does not occur to the cavity of the wall. Joins at rear and sides of shower recess/es, bathtub, and vanity/ies should be kept well sealed to prevent water penetration behind cabinet construction. Heavily stored items in cupboards – restrict the inspector from a full inspection. No inspection under or behind Vanity cupboards.

If showers have been renovated you should make sure that they have been waterproofed correctly, if not further waterproofing may be required, you should consult waterproofing company before you make your purchase. When the dwelling is noted in this report as being more than 8 years old it is recommended to reseal the showers.

Plumbing and drainage inspection is recommended to all shower and bathrooms before you make your purchase.

Defects noted in the inspection, you should consult a builder for costing before you make your purchase.

9.14 Laundry

Condition:

Good to Fair

Comments:

Laundry tub in good to fair condition



Defects noted in the inspection, you should consult a builder for costing before you make your purchase.

9.15 Toilet

Condition:

Good to Fair

Toilet doors in their own Water Closet require the door to have lift off hinges. Ensure that the door has the required hinges and replace the hinges with the correct hinges if required. Lift off hinges are designed to allow the door to come off the hinges in times of emergency. Make sure that there is enough clearance above the door to lift the door off the hinges when shut.

Lift- Off hinges are a type of hinge made up of two parts which allow door removal without the need to open the door, The use of lift-off hinges are the most common building solution used for the access into fully enclosed sanitary compartments, The Nation Construction Code states Mandatory requirements where a sanitary compartment is not considered large enough to allow safe removal of and unconscious occupant with a sanitary compartment.

What are the Requirements

The Current Nation Construction code Requirements for construction of sanitary compartments states the following:

The door to a fully enclosed sanitary compartment must-

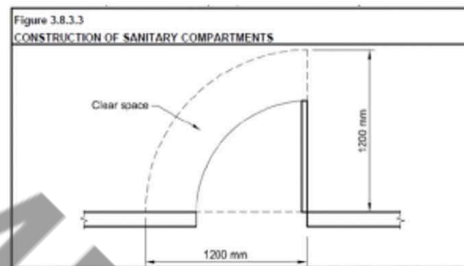
- (a) Open outwards; or*
- (b) Slide; or*
- (c) Be readily removable from the outside of the compartment,*

Unless there is a clear space of at least 1.2m, measured in accordance with figure 3.8.3.3, between the closet pan within the sanitary compartment and the doorway.

Information is taken from the Building Code of Australia Housing Provisions (BCA).

Consult builder before making your purchase.

Refer to diagram below:



9.16 Paintwork

Condition:

Good to Fair

Comments:

Minor paint stress to ceiling
Maintenance Required

Paint stress to paintwork should be referred to a painter for further advice and costing before you make your purchase

Lead Paint Disclaimer: *No inspection for Lead Paint was carried out at the property and no report on the presence or absence of Lead Paint is provided. You should seek further advice; Lead Paint testing and inspection is recommended prior your decision to purchase the property.*

9.17 High Moisture Reading

Was there any High Moisture Readings?

No

Location:

Not Applicable

Comments:

Not Applicable

High moisture readings can be caused by any one of the following: poor ventilation, ineffective drainage, leaking pipes, leaking roofs, defective flashing or by concealed termite activity. The areas of high moisture should be investigated by way of an invasive inspection. If high moisture is present, then you must have a building expert investigate the moisture and its cause and determine the full extent of damage and the estimated cost of repairs before you make your purchase.

9.18 Plumbing

Was water on during the time of inspection?

Yes-consult plumber

Comments:

It's recommended that a licensed plumber be consulted for further advice

It's recommended that a licensed gas technician be consulted for further advice when dwelling containing gas is installed

It is recommended that a drainage inspection be carried out licensed drainer

Septic tanks/Portable treatment plants required a inspection from licensed and qualified plumer/drainer

All Plumbing, Drainage and Gas services need to be checked by a qualified plumber and drainer/ gas plumber. It is recommended that the appropriate Trades be consulted before you make your purchase.

9.19 Electrical Installation

Was the electricity on at the time of inspection?

Yes-consult electrician

Comments:

It's recommended that a licensed electrician be consulted for further advice

Air Conditioners or any electrical appliance or not inspected under this report/inspection, Further advice from qualified person is required

All electrical wiring, meter-box and appliances need to be checked by a qualified electrician. The checking of any electrical item is outside the scope of this report we recommend you consult electrician before you make your purchase

9.20 Phones and lines

Comments:

This inspections does not cover phone and telecommunication-no inpspection carried out on phone lines

This inspection does not identify whether NBN or phone lines are connected to dwelling

It's recommended that a licensed telecommunication technician be consulted for further advice before you make your purchase.

All Phones/phone lines and outlets need to be inspected and reported on by a telecommunication technician. It is recommended that the appropriate trades be consulted before you make your purchase

9.21 Building Approvals

Building Approvals – no opinion is expressed as to whether all Building Approvals have been obtained and/or complied with. All searches should be done before you make your purchase.

Local Government Building Records have not been searched. Natural deterioration occurs to timbers exposed to the weather continued maintenance is required to maintain structural integrity of material.

When walls are enclosing ant caps or built over cold joints in slab this increases the risk of termite activity entering the dwelling-consult pest company for further advice in protection of dwelling or termite management program.

When any renovations or alterations/add-ons have been done to dwelling, building approvals should be sort after before you make your purchase.

9.22 Smoke Detectors

Was there Smoke detectors fitted in the dwelling?

Yes

Number:

5 fitted, but not tested.

Location:

Entry ceiling
Hallway Ceiling
Bedroom ceiling





Comments:

Consult electrician for further advice
Not Tested

AS 3786 – Advises that Smoke detectors are required for all buildings where people sleep. It is recommended that an electrician be consulted to advise on those installed or install these detectors. Testing of the smoke detectors has not been carried out. Smoke detectors should be installed outside where people sleep and or at least one per floor level. Testing and or repairs should be done. Smoke alarms have an expected life span of 10 years and should be inspected by a qualified electrician before you make your purchase.

For dwellings being sold, leased or an existing lease renewed

From 1 January 2017

- Existing smoke alarms manufactured more than 10 years ago must be replaced with photoelectric smoke alarms which comply with Australian Standards (AS) 3786-2014. (Note: the date should be stamped on the back)
- Smoke alarms that do not operate when tested must be replaced immediately.
- Existing hardwired smoke alarms that need replacement, must be replaced with a hardwired photoelectric smoke alarm.
- It is also recommended that:
 - o smoke alarms be either hardwired or
 - o powered by a non-removable 10-year battery; and
 - o ionisation smoke alarms be replaced with photoelectric type as soon as possible.
- For the best protection smoke alarms should be installed on each storey:
 - o in every bedroom
 - o in hallways which connect bedrooms and the rest of the dwelling
 - o if there is no hallway, between the bedrooms and other parts of the storey; and

o if there are no bedrooms on a storey, at least one smoke alarm should be installed in the most likely path of travel to exit the dwelling.

- All smoke alarms should be interconnected.*
- To get everyone out safely during a house fire, it is essential to also have a well-practised fire escape plan.*
- Existing landlord's and tenant's obligations continue. Property sellers must continue to lodge a Form 24 stating the requirements of the legislation have been met. See New Smoke Alarm Legislation for more details.*

From 1 January 2022

· All homes or units being sold or leased, or existing leases renewed, will require the installation of hardwired photoelectric, interconnected smoke alarms. If a hardwired smoke alarm cannot be installed, non-removable 10-year battery smoke alarms can be installed in place.

· Smoke alarms in the dwelling must:

o be photoelectric (AS3786-2014); and

o not also contain an ionisation sensor; and

o Be hardwired to the mains power supply with a backup power source (i.e. battery), although dwellings which were existing prior to 1 Jan 2017 can be hardwired or powered by a non-removable 10-year battery, or a combination of both.

o be interconnected with every other smoke alarm in the dwelling so all activate together.

· The legislation requires smoke alarms must be installed in the following locations:

o on each storey

o in each bedroom

o in hallways that connect bedrooms and the rest of the dwelling

o if there is no hallway, between the bedroom and other parts of the storey; and

o if there are no bedrooms on a storey, at least one smoke alarm must be installed in the most likely path of travel to exit the dwelling.

· If a smoke alarm which is hardwired to the domestic power supply needs replacement, it must be replaced with a hardwired photoelectric smoke alarm.

Reference: <https://www.qfes.qld.gov.au/community-safety/smokealarms/Pages/sold-leased-properties.aspx>

QBCC advice regarding the location of smoke alarms

Clause 3.7.2.3(a)(i) of the Building Code of Australia (Volume 2) Requires smoke alarms to be installed between each part of the dwelling containing Bedrooms and the remainder of the dwelling. The QBCC has taken a Literal interpretation of the BCA, and therefore where floor plans have bedrooms which open onto another room such as a TV room or Family room etc, a smoke alarm must be located outside of each bedroom door. This will mean that in many cases, Additional Smoke alarms May need to Be installed than was previously installed or allowed, consult electrician for Further advice before you make your purchase.

Your obligations

Homes are required to be compliant and should seek electrician for further advice

Smoke alarms are to be interconnected and hard wired or battery operated with no recoverable 10-year battery

Smoke alarms are required to be place outside bedrooms and inside bedrooms or at least one per floor level so single level dwellings may require more than one smoke alarm per floor depending on room location

Consult electrician for further advice before you make your purchase

Reference: <https://www.qfes.qld.gov.au/community-safety/smokealarms/Pages/sold-leased-properties.aspx>



9.23 Serious Safety Hazard

Was there any Serious Safety Hazards?

Yes

Comments:

Rot to carport timbers
Immediate action is required



This inspection only identifies any obvious item that may constitute a present serious safety hazard; this report does not comment or report on Building Code safety standards. A full safety audit should be performed by a suitably licensed professional before you make your purchase.

When faulty switches or cracked switches are noted they may not be limited to area noted and there may be more than noted in safety section therefore you should have full electrical inspection and repairs done before you make your purchase.

You should consult relevant trades for repairs and costing before you make your purchase.

Roof Cavity Condition Report

Roof System

Type:

Trussed Roof

Material:

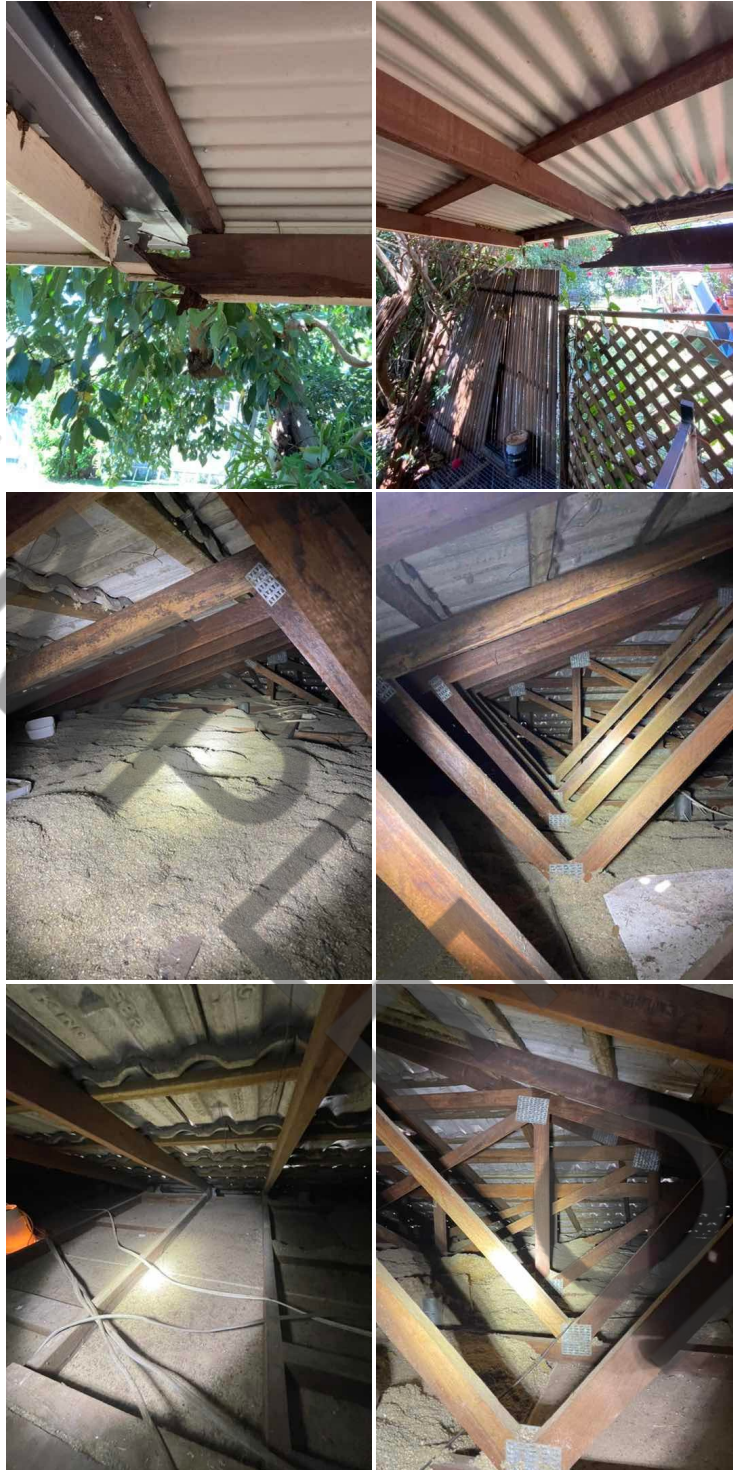
Timber

Condition:

Good to Fair

Comments:

Restricted access
 Construction method has restricted inspection
 No access to external top plates
 Ceiling insulation restricted inspection
 Recommend installation of manhole
 Further investigation recommended



Party wall

Material:

Not Applicable

Party separation fire walls cannot be correctly or fully inspected on a pre-purchase inspection and required a special purpose Report by appropriate qualified person, to check if it is compliant and installed correctly before you make your purchase of Dwelling. You should consult body corporate about fire walls before you make your purchase.

Insulation Installed to Roof Cavity?

Yes
Blow in insulation

Sarking Installed to Underside of Roof?

No

Where access is restricted, we recommend further investigation and if the purchaser requires a full inspection of the roof void, a special purpose inspection and report is available and recommended. Permission from the owner is required to complete this inspection as sections of the roof may require removal.

Areas not accessible:

External top plates; beyond diminishing trusses

Behind hanging beams, raked ceilings, low pitched gables and roof structures, under insulation, under ducting and roof sarking.

If any alterations are noted to trusses you should ensure that they have been done to a truss engineer specification.

Safety concerns in roof void:

Where noted safety issues concerning the insulation in the roof void was unsafe to inspect, Further Investigation and electrical safety report is required that deems the roof void safe to enter and that there is not a fire risk from the installation of insulation.

The Government requirements when insulation is installed are it must comply with the following:

Insulation not within 90mm of hot flues

Minimum insulation distance of 50mm from recessed incandescent lights and lighting Transformers required

Minimum insulation distance of 200mm for recessed Halogen lights Required

Noted defects in the roof void should be referred to a builder for costing before you make your purchase

Dwelling approved and built after July 2004 requires installation as part of the construction process, unless alternative methods have been used- further investigation and or installation of insulation may be required if not installed

Consult builder for costing and further advice before you make your Purchase.

Which rules specifically apply to insulation?

For your home's insulation to be properly compliant, the building envelope must be constructed so that it satisfies:

Part 3.12 of the Building Code of Australia Housing Provisions (BCA)

AS/NZS 4845.1- Materials for the thermal insulation of buildings

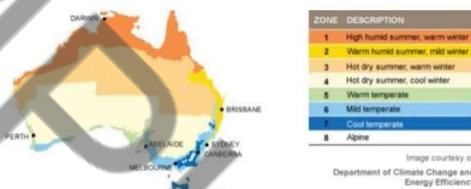
The Manufacturer's specifications, to ensure that the product performs as tested

The regulations in the BCA that apply to home insulation are complicated. As well as determining the specific R-value requirements for the different parts of a home, they also contain requirements for ventilation, and various other related issues.

For the purpose of insulation regulations, Australia is divided into many different climate zones. Each climate zone has its own particular insulation requirements, and to make this a little more complex, different states and territories also enforce their own particular exceptions to the BCA requirements.

Consult your builder for costing and further advice before you make your purchase, consult your local authority for further information that may be required for your particular area and climate before you make your purchase.

Images are taken from Department of Climate Change and Energy Efficiency to give a visual map for your comparison. This map can be viewed in enlargeable form on the Energy Efficiency page of the ABCB web site at www.abcb.gov.au.



Further Inspections/Advice

Further inspection advice

Further inspection advice

Defects to elements given to the buyer in the above report. You should contact the relevant tradesperson or builder for estimate of costs before proceeding with the purchase.

Timber Pest Inspection

Electrical and Appliance Inspection

Plumbing Inspection

Drainage Inspection

Building Approval Search

Safety Audit

Garage door mechanical Inspection

Glass glazier inspection

Asbestos Inspection

Further investigation recommended

It is strongly recommended that the above inspection and reports be obtained by the appropriate qualified person prior to any decision to purchase the property, so that the purchaser can be well equipped to make an informed decision. Where cracking is noted or gaps against windows, doors or any movement to dwelling, further advice is needed from a structural engineer. Pre settlement inspection is highly recommended when dwelling inspected is noted as furnished. All quotes should be made for defect repairs or maintenance before making purchase to help you make an informed purchase. We recommend pre settlement inspection before taking possession of property. All quotes or Further advice recommended in this report should be conducted before you make your purchase.

A More Invasive Physical Inspection Is Available and Recommended

As detailed above, there are many limitations to this visual inspection only. With the permission of the owner of the premises we WILL perform a more invasive physical inspection that involves moving or lifting insulation, stored items, furniture or foliage during the inspection. We WILL physically touch, tap, test and when necessary force/gouge suspected accessible timbers. We WILL gain access to areas, where physically possible and considered practical and necessary, by way of cutting traps and access holes. This style of report is available by ordering with several days notice. Inspection time for this style of report will be greater than for a VISUAL INSPECTION. It involves disruption in the case of an occupied property, and some permanent marking is likely. You must arrange for the written permission of the owner who must acknowledge all the above information and confirm that our firm will not be held liable for any damage caused to the property. A price is available on request.

Conclusion

In opinion of the Consultant:

The incidence of Structural Damage in this property in comparison to the average condition of similar buildings of approximately the same age that have been reasonably well maintained was considered:

Average

The incidence of Conducive to Structural Damage in this property in comparison to the average condition of similar buildings of approximately the same age that have been reasonably well maintained was considered:

Average

The incidence of Major Defects in Secondary Elements and Finishing Elements in this property in comparison to the average condition of similar buildings of approximately the same age that have been reasonably well maintained was considered:

Average

The incidence of Minor Defects in this property in comparison to the average condition of similar buildings of approximately the same age that have been reasonably well maintained was considered:

Average

In conclusion, following the inspection of surface work in the readily accessible areas of the property, the overall condition of the building relative to the average condition of similar buildings of approximately the same age that have been reasonably well maintained was considered:

Average

Frequency of Future Inspections

The next Building inspection that may help to detect any future defects is recommended in and every: 12 Months

A more through invasive inspection is available. Written permission from the owner will be required to undertake an invasive inspection of the property. (Addition fee applies)

Please Note: This is a general appraisal only and cannot be relied on its own – read the report in its entirety.

This Summary is supplied to allow a quick and superficial overview of the inspection results. This Summary is NOT the Report and cannot be relied upon on its own. This Summary must be read in conjunction with the full report and not in isolation from the report. If there should happen to be any discrepancy between anything in the Report and anything in this Summary, the information in the Report shall override that in this Summary.

Definitions:

High: The frequency and/or magnitude of defects are beyond the inspector's expectations when compared to similar buildings of approximately the same age that have been reasonably well maintained.

Typical: The frequency and/or magnitude of defects are consistent with the inspector's expectations when compared to similar buildings of approximately the same age which have been reasonably well maintained.

Low: The frequency and/or magnitude of defects are lower than the inspector's expectations when compared to similar buildings of approximately the same age that have been reasonably well maintained.

Above Average: The overall condition is above that consistent with dwellings of approximately the same age and construction. Most items and areas are well maintained and show a reasonable standard of workmanship when compared with buildings of similar age and construction.

Average: The overall condition is consistent with dwellings of approximately the same age and construction. There will be areas or items requiring some repair or maintenance.

Below Average: The Building and its parts show some significant defects and/or very poor non- tradesman like workmanship and/or long-term neglect and/or defects requiring major repairs or reconstruction of major building elements.

Major Defect: Is a Defect requiring building works to avoid unsafe conditions, loss of function or further worsening of the defective item.

Minor Defect: Any defect other than what is described as a major defect.

Accessible area: Any area of the property and structures allowing the inspector safe and reasonable access within the scope of the inspection.

8.0 ADDITIONAL COMMENTS

8.1 Building Approvals – no opinion is expressed as to whether all Building Approvals have been obtained and/or complied with. Local Government Building Records have not been searched. Because of unavailability of plans, no opinion can be expressed as to whether existing works are built ‘as approved’ by Council.

8.2 The status of ‘Owner Builder’ structures is not covered in this Report and unless specifically disclosed to Inspect Detect Building Consultants, they cannot be assessed relative to legal issues, statutory insurance’s and warranties and compliance with Building Laws and/or Building Approval drawings. Accordingly, any statements made in relation to compliance and/or building approvals and implied subsequent statutory warranties and insurances are declared as null and void for ‘Owner Builder’ structures. Please consult your solicitor and it is recommended to obtain a clear disclosure from the vendor.

8.3 On the Pre-settlement Inspection ensure the dwelling is consistent with this report

9.0 CERTIFICATION

This document certifies that the property described in this Report has been inspected by the Building Consultant in accordance with the level of service requested by the Client and the Terms and Conditions set out in Clause A.1 of this Report, and in strict accordance with AS4349.1-2007 Inspection of Building: Pre Purchase inspections – Residential Buildings- Appendix “C”.

A.1 TERMS AND CONDITIONS

SCOPE

Unless specified in writing, this Pre Purchase Inspection Report (“the Report”) deals only with the detection, or non-detection of Structural Damage, Conditions Conducive to Structural Damage and any Significant Defect in the general condition of Secondary Elements and Finishing Elements discernible at the time of inspection. All other reports are Special-Purpose Inspection Reports.

As requested by the Client, the inspection assessment was based solely on the following inspection carried out by a Building Consultant (“the Consultant”) of the Readily Accessible Areas of the property specified in this report:

Option 1 A visual examination of surface work (but excluding furniture and stored items), and the carrying out of Tests (see Limitation No 1 below).

Option 2 An inspection report, which may include Option 1 as well as the particular requirements of the Client, which are specified and attached to this document, where applicable.

NOTE: If the inspection was limited to assessing the interior of a particular unit or lot, the Client may have additional liability for defects or faults in the common property. This additional liability can only be addressed through the undertaking of a special-purpose inspection report which is adequately specified.

If the Client has any doubt about the Scope of this Report, please discuss your concerns with the Consultant on receipt of the Report.

The Client acknowledges that, unless stated otherwise, the Client as a matter of urgency should implement any recommendation or advice given in this Report.

LIMITATIONS

The Client acknowledges:

1. A visual only inspection as Per AS 4349.1 will be carried out.
2. This Report does not include the inspection and assessment of items or matters outside the scope of the requested inspection and report. Other items or matters may be the subject of a Special-Purpose Inspection Report, which is adequately specified (see Exclusions below).
3. This Report does not include the inspection and assessment of items or matters that do not fall within the Consultant's direct expertise.
4. The inspection only covered the Readily Accessible Areas of the property. The inspection did not include areas, which were inaccessible, not readily accessible or obstructed at the time of inspection. Obstructions are defined as any condition or physical limitation which inhibits or prevents inspection and may include – but are not limited to – roofing, fixed ceilings, wall linings, floor coverings, fixtures, fittings, furniture, clothes, stored articles/ materials, thermal insulation, sarking, pipe/duct work, builder's debris, vegetation, pavements or earth.
5. Australian Standard Inspection of Buildings. Part 1: Pre-Purchase Inspections – Residential Buildings recognises that a Pre-Purchase inspection report is not a warranty or an insurance policy against problems developing with the building in the future.
6. This Report was produced for the use of the Client. The Consultant is not liable for any reliance placed on this report by any third party.

EXCLUSIONS

The Client acknowledges that this Report does not cover or deal with:

- (i) any 'minor fault or defect', i.e. a matter, in view of the age, type and condition of the building being inspected, does not require substantial repairs or urgent attention and rectification.
- (ii) solving or providing costs for any rectification or repair work.
- (iii) the structural design or adequacy of any element of construction.

- (iv) detection of wood destroying insects such as termites and wood borers.
- (v) the operation of fireplaces, chimneys/Flues and solid fuel heaters.
- (vi) any services including building, engineering (electronic), fire and smoke detection or mechanical.
- (vii) any swimming pools and associated pool equipment or spa baths and spa equipment or the like.
- (viii) any appliances such as dishwashers, insinkerator, ovens, stoves and ducted vacuum systems, solar systems and air conditioners.
- (ix) a review of occupational, health or safety issues such as asbestos content, Lead paint, allergies, soil toxicity, radon, Urea formaldehyde or the provision of safety glass or swimming pool fencing.
- (x) a review of environmental or health or biological risks such as toxic mould.
- (xi) whether the building complies with the provisions of any building Act, code, regulation(s) or by-laws;
and
- (xii) whether the ground on which the building rests has been filled, is liable to subside, swell or shrink, is subject to landslip or tidal inundation, or if it is flood prone.
- (xiii) Window fly screens or security screens, door fly screens or security screens and window furnishings
e.g. blinds and curtains
- (xiv) Footings below ground level
- (xv) Concealed damp-proof course
- (xvi) Electrical installation of smoke detectors, light switches and fittings, TV, sound and communication and security systems.
- (xvii) Adequacy of roof drainage as installed
- (xviii) Gas Fittings and Fixtures
- (xix) Painting and coatings, except external protective coating
- (xx) Alarms and intercom systems
- (xxi) Soft floor coverings
- (xxii) Timber and metal framing sizes and adequacy
- (xxiii) Concealed tie-downs and bracing
- (xxiv) Soil condition
- (xxv) Control Joints
- (xxvi) Sustainable development Provisions
- (xxvii) Landscaping
- (xxviii) Energy efficiency

(xxix) Lighting efficiency

(xxx) Environmental matters

Any of the above matters may be the subject of a special-purpose inspection report, which is adequately specified and undertaken by an appropriately qualified inspector.

Important Advice: -

Note: In the case of strata and company title properties, the inspection is limited to the interior and immediate exterior of the particular unit being inspected. The Exterior above ground floor level is not inspected. The complete inspection of other common property areas would be the subject of a Special-Purpose Inspection Report which is adequately specified.

Trees: Where trees are too close to the house this could affect the performance of the footing as the moisture levels change in the ground. A Geotechnical Inspection can determine the foundation material and advise on the best course of action with regards to the trees.

The septic tanks: Should be inspected by a licensed plumber.

Swimming Pools: Swimming Pools/Spas are not part of the Standard Building Report under AS4349.1-2007 and are not covered by this Report. We strongly recommend a pool expert should be consulted to examine the pool and the pool equipment and plumbing as well as the requirements to meet the standard for pool fencing. Failure to conduct this inspection and put into place the necessary recommendations could result in finds for noncompliance under the legislation.

Surface Water Drainage: The retention of water from surface run off could have an effect on the foundation material which in turn could affect the footings to the house. Best practice is to monitor the flow of surface water and stormwater run off and have the water directed away from the house or to storm water pipes by a licensed plumber/drainier.

TERMINOLOGY

The Definitions below apply to the TYPES OF DEFECTS associated with individual items/parts or Inspection areas.

Damage: The building material or item has deteriorated or is not fit for its designed purpose.

Distortion, Warping, twisting: The Item has moved out of shape or moved from its position.

Water Penetration, Dampness: Moisture has gained access to unplanned and/or unacceptable areas.

Material Deterioration: The item is subject to one or more of the following defects: rusting, rotting, corrosion, decay.

Operational: The item or part does not function as expected.

Installation: The installation of an item is unacceptable, has failed or is absent.

CRACKING OF BUILDING ELEMENTS

Cracking of Building Elements

Is there cracking to the Building Elements?

Appearance Defect- Where in the inspector's opinion the appearance of the building element has blemished at the time of the inspection and the expected consequence of this cracking is unknown until further information is obtained.

Serviceability Defect- Where in the inspector's opinion the function of the building element is impaired at the time of the inspection and the expected consequence of this cracking is unknown until further information is obtained.

Structural Defect - Where in the inspector's opinion the structural performance of the building element is impaired at the time of the inspection and the expected consequence of this cracking is unknown until further information is obtained.

Primary Elements means those parts of the building providing the basic load bearing capacity to the Structure, such as foundations, footings, floor framing, and load bearing walls, beams or columns. The term 'Primary Elements' also includes other structural building elements including those that provide a level of personal protection such as handrails; floor-to-floor access such as stairways; and the structural flooring of the building such as floorboards.

Secondary Elements means those parts of the building not providing load bearing capacity to the Structure, or those non-essential elements which, in the main, perform a completion role around openings in Primary Elements and the building in general such as non-load bearing walls, partitions, wall linings, ceilings, chimneys, flashings, windows, glazing or doors.

Finishing Elements means the fixtures, fittings and finishes applied or affixed to Primary Elements and Secondary Elements such as baths, water closets, vanity basins, kitchen cupboards, door furniture, window hardware, render, floor and wall tiles, trim or paint. The term 'Finishing Elements' does not include furniture or soft floor coverings such as carpet and lino.

Structure means the load bearing part of the building, comprising the Primary Elements.

Structural Damage means a significant impairment to the integrity of the whole or part of the Structure falling into one or more of the following categories:

- (a) Structural Cracking and Movement – major (full depth) cracking forming in Primary Elements resulting from differential movement between or within the elements of construction, such as foundations, footings, floors, walls and roofs.
- (b) Deformation – an abnormal change of shape of Primary Elements resulting from the application of load(s).
- (c) Dampness – the presence of moisture within the building, which is causing consequential damage to Primary Elements.
- (d) Structural Timber Pest Damage – structural failure, i.e. an obvious weak spot, deformation or even collapse of timber Primary Elements resulting from attack by one or more of the following woods destroying agents: chemical delignification; fungal decay; wood borers; and termites.

Conditions Conducive to Structural Damage means noticeable building deficiencies or environmental factors that may contribute to the occurrence of Structural Damage.

Significant Defect means a matter, in view of the age and type of the building being inspected, requires substantial repairs or urgent attention and rectification.

Client means the person or persons, for whom the Inspection Report was carried out or their Principal (i.e. the person or persons for whom the report is being obtained).

Building Consultant means a person, business or company who is qualified and experienced to undertake a Pre-Purchase Inspection Report in accordance with Australian Standard AS 4349. "Inspection of Buildings. Part 1: Property Inspections – Residential Buildings". The consultant must also meet any Government licensing requirement, where applicable.

Readily Accessible Areas means areas which can be easily and safely inspected without injury to person or property, are up to 3.6 metres above ground or floor levels, in roof spaces where the minimum area of accessibility is not less than 600 mm high by 600 mm wide and subfloor spaces where the minimum area of accessibility is not less than 400 mm high by 600 mm wide, providing the spaces or areas permit entry. Or where these clearances are not available, areas within the consultant's unobstructed line of sight and within arm's length.

A test means where appropriate the carrying out of tests using the following procedures and instruments:

- (a) Dampness Tests means additional attention to the visual examination was given to those accessible areas which the consultant's experience has shown to be particularly susceptible to damp problems. Instrument testing using an electronic moisture detecting meter of those areas and other visible accessible elements of construction showing evidence of dampness was performed.
- (b) Physical Tests means the following physical actions undertaken by the consultant: opening and shutting of doors, windows and draws; operation of taps; water testing of shower recesses; and the tapping of tiles and wall plaster.

A.2 ACCESSIBILITY

Unless specified in writing, the inspection only covered the Readily Accessible Areas of the property.

The inspection did not include areas, which were inaccessible, not readily accessible or obstructed at the time of inspection. Areas, which are not normally accessible, were not inspected and include - but not limited to - the interior of a flat roof or beneath a suspended floor filled with earth.

Building Interior, The consultant did not move or remove any ceilings, wall coverings, floor coverings (including carpeting and wooden floorboards), furnishing, equipment, appliances, pictures or other household goods. In an occupied property, furnishings or household items may be concealing evidence of defects, which may only be revealed when the items are moved or removed.

NOTE: In the case of strata and company title properties or other Class 2 buildings or equivalent, if the inspection was limited to assessing the interior of a particular unit or lot, the Client may have additional liability for defects in the common property. This additional liability can only be addressed through the undertaking of a special-purpose inspection report, which is adequately specified.

Building Exterior, Roof Exterior and Site The consultant did not move or remove any obstructions such as wall cladding, awnings, trellis, earth, plants, bushes, foliage, stored materials, debris or rubbish, etc. Such items may be concealing defects, which may only be revealed when the items are moved or removed.

Roof Space Obstructions such as roofing, stored articles, thermal insulation, sarking and pipe/duct work may be concealing evidence of defects, which may only be revealed when the obstructions are moved or removed. Also, bodily access should be provided to the interior of all accessible roof spaces. In accordance with Australian Standard AS 4349 the minimum requirement is a 450 mm by 400 mm access manhole.

Subfloor Space Storage of materials in subfloor areas is not recommended as it reduces ventilation and makes inspection difficult. Obstructions may be concealing evidence of defects, which may only be revealed when the obstructions are moved or removed. Bodily access should be provided to all accessible subfloor areas. In accordance with Australian Standard AS 4349 the minimum requirement is a 500 mm x 400 mm access manhole. In the case of suspended floors, if the clearance between the ground and structural components is less than 400 mm, then the ground should be excavated to provide the required clearance, subject to maintaining adequate drainage and support to footings. If the subfloor has been sprayed for subterranean termites or if the area is susceptible to mould growth, appropriate health precautions must be followed before entering the area. Also, special care should be taken not to disturb the treated soil. For further advice consult the person who carried out this report.

A.3 IMPORTANT NOTE

Special attention should be given to the Scope, Limitations and Exclusions in this document.

Unless stated otherwise in this Report, the Client as a matter of urgency should implement any recommendation or advice given in this Report.

Importantly, Australian Standard Inspection of Buildings. Part 1: Pre-Purchase Inspections – Residential Buildings recognises that a standard property report is not a warranty or an insurance policy against problems developing with the building in the future. Accordingly, a preventative maintenance program should be implemented for the property which includes systematic inspections, detection and prevention of incipient failure. Please contact the Consultant who carried out this inspection for further advice. The presence of dampness is not always consistent as the prevailing and recent weather conditions at the time an inspection is carried out may affect the detection of damp problems. The absence of any dampness at the time of inspection does not necessarily mean the building will not experience some damp problems in other weather conditions. Likewise, whether or not services have been used for some time prior to an inspection being carried out will affect the detection of dampness. Also, where a shower recess has been water tested for a minimum of ten (10) minutes, and no leakage was evident, this does not necessarily mean that the shower will not leak after prolonged use. Accordingly, to fully detect and assess a damp problem may require the monitoring of the building over a period of time.

This inspection and report only deal with the detection, or non-detection of structural damage, conditions conducive to structural damage and any significant defect in the general condition of secondary elements and finishing elements discernible at the time of inspection.

We recommend you consider:

- solving or providing costs for any rectification or repair work.
- the structural design or adequacy of any element of construction.
- the operation of fireplaces and chimneys.
- any services including building, engineering (electronic), fire and smoke detection or mechanical.
- any swimming pools and associated pool equipment or spa baths and spa equipment or the like.
- any appliances such as dishwashers, insinkerators, ovens, stoves and ducted vacuum systems, solar systems.
- a review of occupational, health or safety issues such as asbestos content, or the provision of safety glass or swimming pool fencing.
- a review of environmental or health or biological risks such as toxic mould.

This additional information or advice may be the subject of a special-purpose inspection report, which is adequately specified and undertaken by an appropriately qualified inspector.

In addition, this inspection and report does not include the inspection and assessment of items or areas that do not fall within the consultant's expertise. Accordingly, consideration should be given to other specialist inspections and services such as: hydraulics; geotechnics; or building, engineering (electronic), fire and smoke detection or mechanical services.

As a matter of course, in the interests of safety, an inspection and assessment of the electrical and plumbing/gas installations should be carried out by a suitably qualified person.

Also, in all parts of mainland Australia, termites are a known problem to timber in service. Therefore, it is recommended that a timber pest inspection and report be carried out in accordance with the Report Systems Australia handbook Timber Pest Detection Reports.

Where possible, the records of the appropriate local authority should be checked to determine or confirm:

- whether the ground on which the building rests has been filled, is liable to subside, is subject to landslip or tidal inundation, or if it is flood prone.
- the status of the property and services (e.g. compliance of the building with the provisions of any building Act, code, regulation or by-laws); and
- whether council has issued a building certificate or other notice for the dwelling.

Where appropriate, legal advice (e.g. from a solicitor) should be sought to explain title and ownership matters and to deal with matters concerning easements, covenants, restrictions, zoning certificates and all other law-related matters.

1) CONSUMER COMPLAINTS PROCEDURE: In the event of any dispute or claim arising out of, or relating to the Inspection or the Report, you must notify Us as soon as possible of the dispute or claim by email, fax or mail. You must allow Us (which includes persons nominated by Us) to visit the property (which visit must occur within twenty eight (28) days of your notification to Us) and give Us full access in order that We may fully investigate the complaint. You will be provided with a written response to your dispute or claim within twenty-eight (28) days of the date of the inspection.

If You are not satisfied with our response You must within twenty-one (21) days of Your receipt of Our written response refer the matter to a Mediator nominated by Us from the Institute of Arbitrators and Mediators of Australia. The cost of the Mediator will be borne equally by both parties and as agreed as part of the mediated settlement.

In the event You do not comply with the above Complaints Procedure and commence litigation against Us then You agree to fully indemnify Us against any awards, costs, legal fees and expenses incurred by Us in having your litigation set aside or adjourned to permit the foregoing Complaints Procedure to complete.

2) ASBESTOS DISCLAIMER: No inspection for asbestos was carried out at the property and no report on the presence or absence of asbestos is provided. If during the course of the Inspection asbestos or materials containing asbestos happened to be noticed, then this may be noted in the **Additional Comments** section of the report. Buildings built prior to 1982 may have wall and/or ceiling sheeting and other products including roof sheeting that contains Asbestos. Even buildings built after this date up until the early 90s may contain some Asbestos. Sheeting should be fully sealed. If concerned or if the building was built prior to 1990 or if asbestos is noted as present within the property then you should seek advice from a qualified asbestos removal expert as to the amount and importance of the asbestos present and the cost of sealing or removal. Drilling, cutting or removing sheeting or products containing Asbestos is a high risk to peoples' health. You should seek advice from a qualified asbestos removal expert."

3) Mould (Mildew and Non-Wood Decay Fungi) Disclaimer: Mildew and non wood decay fungi is commonly known as Mould. However, Mould and their spores may cause health problems or allergic reactions such as asthma and dermatitis in some people. **No inspection for Mould was carried out at the property and no report on the presence or absence of Mould is provided.** If in the course of the Inspection, Mould happened to be noticed it may be noted in the **Additional Comments** section of the report. If Mould is noted as present within the property or if you notice Mould and you are concerned as to the possible health risk resulting from its presence then you should seek advice from your local Council, State or Commonwealth Government Health Department or a qualified expert such as an Industry Hygienist.

4) MAGNESITE FLOORING DISCLAIMER: No inspection for magnesite flooring was carried out at the property and no report on the presence or absence of magnesite flooring is provided. You should ask the owner whether Magnesite Flooring is present and/or seek advice from a Structural Engineer.

5) ESTIMATING DISCLAIMER: Any estimates provided in this report are merely opinions of possible costs that could be encountered, based on the knowledge and experience of the inspector, and are not estimates in the sense of being a calculation of the likely costs to be incurred. The estimates are NOT a guarantee or quotation for work to be carried out. The actual cost is ultimately dependent upon the materials used, standard of work carried out, and what a contractor is prepared to do the work for. It is recommended in ALL instances that multiple independent quotes are sourced prior to any work being carried out. The inspector accepts no liability for any estimates provided throughout this report.

IMPORTANT DISCLAIMER

DISCLAIMER OF LIABILITY: -No Liability shall be accepted on an account of failure of the Report to notify any problems in the area(s) or section(s) of the subject property physically inaccessible for inspection, or to which access for Inspection is denied by or to the Inspector (including but not limited to or any area(s) or section(s) so specified by the Report).

DISCLAIMER OF LIABILITY TO THIRD PARTIES: - Compensation will only be payable for losses arising in contract or tort sustained by the Client named on the front of this report. Any third party acting or relying on this Report, in whole or in part, does so entirely at their own risk. However, if ordered by a Real Estate Agent or a Vendor for the purpose of auctioning a property then the Inspection Report may be ordered up to seven (7) days prior to the auction, copies may be given out prior to the auction and the Report will have a life of 14 days during which time it may be transferred to the purchaser. Providing the purchaser agrees to the terms of this agreement then they may rely on the report subject to the terms and conditions of this agreement and the Report itself.

Note: In the ACT under the Civil Law (Sale of Residential Property) Act 2003 and Regulations the report resulting from this inspection may be passed to the purchaser as part of the sale process providing it is carried out not more than three months prior to listing and is not more than six months old.

If you have any queries with this report or require further information, please do not hesitate to contact the consultant who carried out the inspection.

**The Inspection and Report was carried out by: Kevin Falls
State License Number: QBCC - 57421 QLD HEALTH - PMT-0-14558
Contact the Inspector on: 0419 575 975
For and on Behalf of: Inspect Detect Consultants**